

**NOTICE
GLENPOOL CITY COUNCIL
REGULAR MEETING**

A Regular Session of the Glenpool City Council will be held at 6:30 p.m. on Monday, October 17, 2016, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

The City Council welcomes comments from citizens of Glenpool who wish to address any item on the agenda. Speakers are requested to complete one of the forms located on the agenda table and return to the City Clerk PRIOR TO THE CALL TO ORDER

AGENDA

- A) Call to Order - Timothy Lee Fox, Mayor**
- B) Roll call, declaration of quorum – Susan White, City Clerk; Timothy Lee Fox, Mayor**
- C) Invocation – Jason Yarbrough, First Baptist Church**
- D) Pledge of Allegiance – Timothy Lee Fox, Mayor**
- E) Community Development Report – Lynn Burrow, Community Development Director**
- F) Treasurers Report – Julie Casteen, Finance Director**
- G) City Manager Report – Roger Kolman, City Manager**
- H) Mayor Report – Timothy Lee Fox, Mayor**
- I) Council Comments**
- J) Public Comments**
- K) Employee of the Month Recognition -- Timothy Lee Fox, Mayor**
- L) Scheduled Business**
 - 1) Discussion and possible action to approve minutes from October 3, 2016 meeting.**
 - 2) Discussion and possible action to adopt Ordinance No. 724, An Ordinance Amending Title 10, Building And Development; Chapter 2, Building Codes And Regulations; Article A, Building Codes; Section 1, Adoption Of Codes (§ 10-2A-1); Repealing Ordinances Or Parts Of Ordinances In Conflict Herewith.
(Lynn Burrow, Community Development Director)**
 - 3) Discussion and possible action to adopt Emergency Clause, Whereas it being immediately necessary for the preservation of the peace, health, and safety of the City of Glenpool and the inhabitants thereof that the provisions of Ordinance No. 724, An Ordinance Amending Title 10, Building And Development; Chapter 2, Building Codes And Regulations; Article A, Building Codes; Section 1, Adoption Of Codes (§ 10-2A-1); Repealing Ordinances Or Parts Of Ordinances In Conflict Herewith; And Declaring An Emergency, more particularly that Title 11 § 14-107(B)**

of the Oklahoma statutes requires the City of Glenpool to adopt and enforce codes adopted by the Oklahoma Uniform Building Code Commission by scheduled effective dates, an emergency is hereby declared to exist, by reason whereof said Ordinance No. 724 shall take effect and be in full force from and after its passage as provided by law.

(Lowell Peterson, City Attorney)

- 4) Discussion and possible action to adopt Resolution No. 16-10-01, A Resolution Of The City Of Glenpool, Oklahoma, Signifying The City Council's Endorsement Of The Tulsa Regional Chamber's "2017 One Voice Legislative Agenda," And Establishing And Supporting State And Federal Legislative Priorities Concerning Items Of Mutual Municipal Interest That The Tulsa Regional Chamber Of Commerce Will Advocate To The Region's State And Federal Legislative Members.
(Roger Kolman, City Manager/Mike Neal, Tulsa Regional Chamber)
- 5) Discussion and possible action to approve membership in Tulsa's Future III Initiative for regional economic development in partnership with the Tulsa Regional Chamber of Commerce.
(Roger Kolman, City Manager/Mike Neal, Tulsa Regional Chamber)
- 6) Discussion and possible action to enter into a Construction Contract with S & J Construction Specialists, LLC for the purpose of conducting work related to 2016 CDBG Project, involving improvements to the Senior Citizens Activity Building, in an amount not to exceed \$79,798.00.
(Lynn Burrow, Community Development Director)
- 7) Discussion and possible action to approve South County Soccer Complex Development Plan.
(Lynn Burrow, Community Development Director)
- 8) Discussion and possible action to accept ownership and maintenance of public waterline improvements recently installed for the purpose of water service to the newly constructed Whataburger restaurant located at 12110 S. Waco, Southwest Crossroads Addition, Glenpool, Oklahoma.
(Lynn Burrow, Community Development Director)
- 9) Discussion and possible action to enter into Executive Session for the purpose of conferring with one or more consultants to the City of Glenpool on matters pertaining to economic development, including the transfer of property, financing or the creation of a proposal to entice one or more businesses to locate within the corporate limits of the City of Glenpool, because public disclosure of the matter discussed would interfere with the development of products or services or public disclosure would violate the confidentiality of the business, pursuant to Title 25, § 307(C)(10) of the Oklahoma Statutes (Open Meeting Act).
(Lowell Peterson, City Attorney)
- 10) Discussion and possible action to reconvene in Regular Session.
(Timothy Fox, Mayor)
- 11) Discussion and possible action to approve Resolution No. 16-10-02, A Resolution Of The City Of Glenpool, Oklahoma (The "City") Declaring The City's Intent To Consider Approval Of A Project Plan And Creation Of A Tax Increment District Pursuant To The Local Development Act; Directing Preparation Of A Project Plan; Appointing A Review Committee; Directing The Review Committee To Make Findings As To Eligibility Of Designated Project Area And Financial Impact, If Any, On Taxing Jurisdictions Within The Proposed District; Directing The Review Committee To Make A Recommendation With Respect To The Proposed Project Plan;

Directing The Planning Commission To Make A Recommendation With Respect To The Proposed Project Plan; And Containing Other Provisions Relating Thereto.
(Lowell Peterson, City Attorney)

- 12) Discussion and possible action to appoint a member to serve as Chairperson of the TIF Review Committee.

(Lowell Peterson, City Attorney)

- 13) Discussion and possible action to approve retainer agreement engaging Hilborne & Weidman, PC, as bond counsel and Lowell Peterson as local counsel to provide legal services in support of creating the proposed Tax Increment Financing District and providing funds to promote investment, development and economic growth within the City of Glenpool, as authorized by Resolution No. 16-10-02, adopted this date, for a fee of \$30,000.00, such funds to be reimbursed to the City as an eligible project cost.

(Lowell Peterson, City attorney/John Weidman, Hilborne & Weidman, PC)

M) Adjournment

This notice and agenda was posted at Glenpool City Hall, 12205 S. Yukon Ave., Glenpool, Oklahoma, on _____, _____ at _____ am/pm.

Signed: _____
City Clerk



Community Development Director's Report

October 12, 2016

To: Glenpool City Council

Councilors;

The following report highlights and summarizes the various activities that are currently being addressed and process by the Community Development Department related to major public and private improvement and construction projects within the City of Glenpool.

City/Public Related Activities and Projects:

Glenpool Vision 2025 Projects:

Water Storage Facility and Supporting Waterline Installation: (Gions Enterprises, Inc.)

- Goins Enterprises was authorized to begin construction on February 2, 2016 and has 270 calendar days to complete the project - on or before October 28, 2016.

Current Contractor Work Progress:

- The tower construction is fully complete and the all facilities associated with the project have been completed and are in full operation at this time.
- The last remaining element to be completed on scope the overall project is the installation of the emergency stand-by generator and associated transfer switch gear. The delivery of this final equipment package is anticipated the week of October 10th with the installation being made operational the week of October 10th.
- Full project completion and contract close-out is anticipated on or before November 1st.

South County Soccer Complex:

- Greg Helms & Associates has prepared preliminary and final design documents associated with the site and building related improvements being proposed on property owned by Tulsa County adjacent to the South County Recreation Center.

- A presentation of the current status of this design work has been presented to The Tulsa County Parks Department for review and approval. The approval from the Tulsa County Staff was obtained on October 5th..
- A Board of Adjustment action for a required zoning code variance was heard and approved at the October 10th BOA meeting.
- A formal presentation of the final project design to the City Council is anticipated at the October 17th meeting.
- Final Construction and bid documents will be complete by October 15th and will be in position to be advertised for bid after review and approval from the City Council.
- It is anticipated that the project will be bid by approximately November 15th.
- Actual Construction of the project is likely not to start until December 2016.

2016 CDBG Project: Senior Citizen Activity Building Up-grade

- The City of Glenpool has been awarded a Community Development Grant for additional remodel and facility upgrades at the Senior Citizen Activity Building in the amount of \$72,645.00.
- The formal contract with Tulsa County for this grant as was approved by INCOG and presented to the City Council at the September 6th City Council meeting.
- Formal bids for this work were accepted September 26th and are to be presented to the Council at the October 17th meeting for consideration and contract award.

On-going Private Development and/or Building Projects:

Dumond Business Office: (Commercial Development and Building Project)

- This project is located in MonTapp Addition on the east side of Yukon Avenue and immediately north of the Bonnet Dental Clinic.
- The project consists of the development of a 1.9 acre site and the construction of a 6,000 s.f. single story office building serving as the corporate headquarters of Simple Simons Pizza Company.
- Full project completion is anticipated in October, 2016.

Sunoco Glenpool Butane Blending Facility: (Developed by SVT Energy Services, Inc.)

- This project is located at 127th Street on the east side of US Highway 75.
- Full project completion and operational start-up is estimated to be by April, 2017.

What-a-Burger Restaurant: (Southwest Crossroads Addition)

- This project is located on a tract located in Block 2 of South West Crossroads Addition.
- The building permit for the construction of this facility was issued July 25th with construction commencing that date.

- The final Certificate of Occupancy is anticipated by October 18th upon final acceptance of certain public waterline improvements constructed to provide domestic and fire protection services to the project.

Current Status of City of Glenpool Grant Projects:

Oklahoma Department of Transportation Grant Project:

- This project consists of the construction pedestrian sidewalks generally connecting the South County Community Recreation Center with the Glenpool school property on Warrior Road.
- The City has received preliminary construction plan covering the proposed pedestrian walkway improvements and is currently reviewing these documents.
- It is anticipated that the technical design and approval portion of the project will be completed by approximately December, 2016 with construction bidding occurring during the first quarter of 2017.
- The actual construction phase of the project will likely occur during the summer months of 2017 with full project completion estimated by the end of 2017.

Current Planning Department and Planning Commission Activities:

GBOA-447

- Request a variance to modify the screening requirement when abutting an RS district (South County Recreational Center as it abuts Glenn Abbey Addition) from 6 foot wood screening fence to allow a landscaping instead. Located at 13800 South Peoria Ave.
BOA: 10/10/16 APPROVED

GBOA-448

- Request a special exception to allow a carport at 15045 S. Yukon Ave. BOA 11/14/16.

GBOA-449

- Request a variance to allow a gravel parking lot at 12209 S. Yukon Ave. BOA 11/14/16.

GZ-256/PUD 34

- Request to rezone 48 acres located west of the NW/corner of 141st Street and Peoria Ave from RS-3, OL, and CS to a RS-4 district in order to allow 175 lots with a lot width of 65 feet. PC: 10/10/16, **CONTINUED TO 11/14/16 to give the applicant time to submit additional information requested by staff during their review.**

GZ-257/PUD 35

- Request to rezone 46 acres located north of the NE/corner of 151st Street (Hwy 67) and Elwood Ave from RS-3 to a RS-4 district in order to allow 147 lots with a lot width of 65 feet. PC: 10/10/16, **CONTINUED TO 11/14/16 to give the applicant time to submit additional information requested by staff during their review.**

Preliminary Subdivision Plat: Elwood Corner

- Request to review and possible approval of the preliminary plat of Elwood Corner which encompasses 46 acres located north of the NE/corner of 151st Street (Hwy 67) and Elwood Ave (if GZ257/PUD 35 are approved) to allow 175 lots with a lot width of 65 feet. TAC: 9/30/15, PC: 10/10/16, **CONTINUED TO 11/14/16 to give the applicant time to submit additional information requested by staff during their review.**

Preliminary Subdivision Plat: South 75 Business Park (Phase II)

- Request to review and possible approval of the preliminary plat of South 75 Business Park (Phase II) located at the SE/corner of 166th Street and US 75 and contains 39.65 acres. TAC 10/28/16, PC: 11/14/16.

Current Building & Inspection Department Activities: August, 2016:**Current Commercial Projects Permitted for Construction:**

- QuikTrip Gas Island Addition
- WalMart Remodel Project – Drive thru Pharmacy & Grocery Pickup Area
- Byers Office and Warehouse: Located on Union Avenue at 176th Street
- Dumond Office Building: Located in MonTapp Addition
- What-a-Burger Restaurant: Located in Southwest Crossroads Addition
- St. Francis Health System Hospital; Located on 151st Street - east of U.S. Highway 75
- Sunoco Logistics Butane Blending Facility located east of US Highway 75 at 127th Street.

Glenpool Residential and Commercial Building Permit Statistics – September, 2016

- | | |
|--|-----------|
| • New Residential Permits Issued in September, 2016: | 13 Total |
| • New Commercial Permits Issued in September, 2016: | 1 Total |
| • Current Active Residential Permits: | 66 Total |
| • Current Active Commercial Permits: | 12 Total |
| • 2015 Residential Permits thru September: | 103 Total |
| • 2016 Residential Permits issued thru September: | 70 Total |
| • 2015 Commercial Permits Issued Thru September: | 6 Total |
| • 2016 Commercial Permits Issued Thru August: | 8 Total |

Code Enforcement Department: September, 2016**Typical Issues Addressed by the Code Enforcement Department: Public Nuisances**

- Inoperable or abandoned vehicles being stored on private property.
- Trash or debris on private property
- Excessively high grass on private property

- Special Assessment requests researched and issued to real estate lenders.
- Filing and releasing Mechanic Liens with the Tulsa County Recorder's Office.
- Illegal vehicle parking on private property yards.
- Visual impairments caused by trees, shrubs, vehicles, etc. interfering with traffic flow.
- Bidding and subcontracting involved with nuisance abatement.
- Enforcement of Health and Safety Code violations.

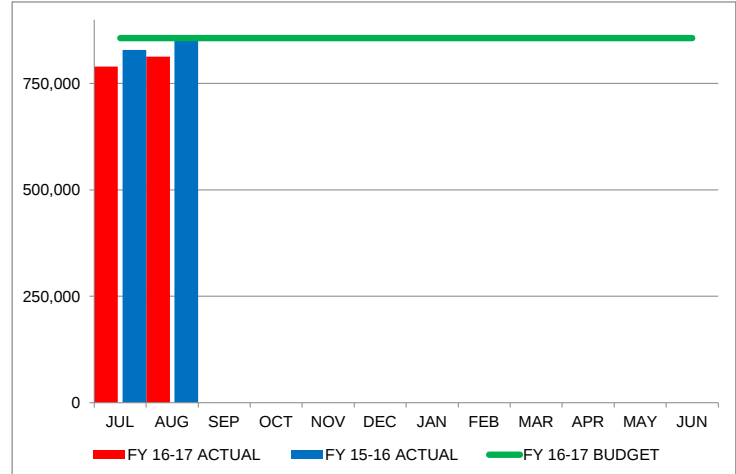
Department Activity for the Month of September:

• Month-to-date Complaint Calls Received and Investigated:	372
• Year-to-Date Complaint Calls Received and Investigated	1010
• Public Nuisance Cases Remaining Open thru September 30 th :	73
• New Code Enforcement Cases Processed in September:	
1. Calls reporting high grass:	138
2. Structures damaged by fire:	1
3. Notices Issued for Vehicles Illegally Parked:	36
4. Nuisance Abatements Performed by City Personnel:	3
5. Notices Issued for Residences Without Water Service:	5
6. Tulsa County Health Department Citations Issued:	-0-
7. Notices Issued for Illegally placed signs:	18
8. Damage to public facilities citations:	-0-
9. Dilapidated Structure Condemnation:	-0-
Total New Cases Opened in September:	201

REVENUE ANALYSIS - GENERAL FUND

TOTAL REVENUE

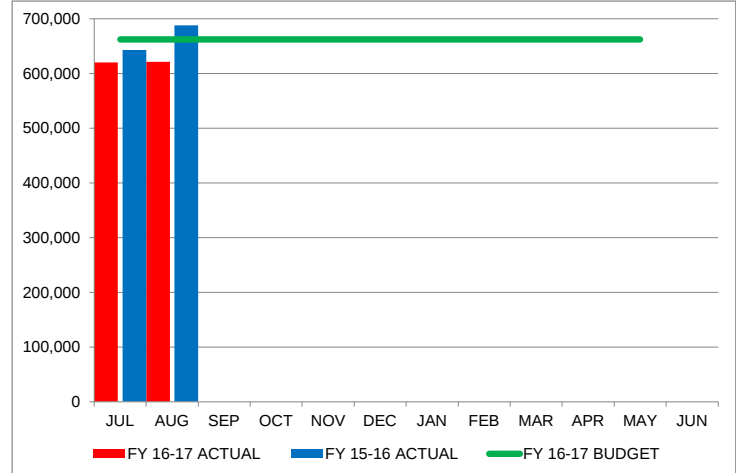
	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 856,649	\$ 789,189	\$ (67,460)	-7.9%	\$ 828,909
AUG	856,649	812,837	(43,812)	-5.1%	858,896
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YTD	\$ 1,713,297	\$ 1,602,026	\$ (111,271)	-6.5%	\$ 1,687,805



Total General Fund revenues YTD through August were -6.5% under budget YTD and -5.1% below prior year.

TAXES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 662,180	\$ 619,710	\$ (42,470)	-6.4%	\$ 642,505
AUG	662,180	621,103	(41,076)	-6.2%	688,006
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YTD	\$ 1,324,360	\$ 1,240,814	\$ (83,546)	-6.3%	\$ 1,330,511

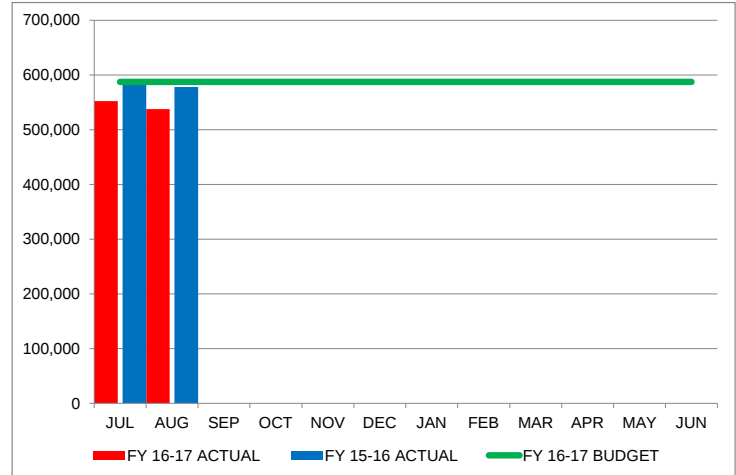


Tax revenues include Sales Tax, Use Tax, Hotel/Motel Tax, Franchise Tax and E911 Fees.

Total tax collections YTD through August fell short of budget by -6.3% and below prior year YTD by -6.7%.

SALES TAX

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 587,180	\$ 552,041	\$ (35,139)	-6.0%	\$ 582,429
AUG	587,180	537,682	(49,498)	-8.4%	577,621
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YTD	\$ 1,174,360	\$ 1,089,724	\$ (84,636)	-7.2%	\$ 1,160,050

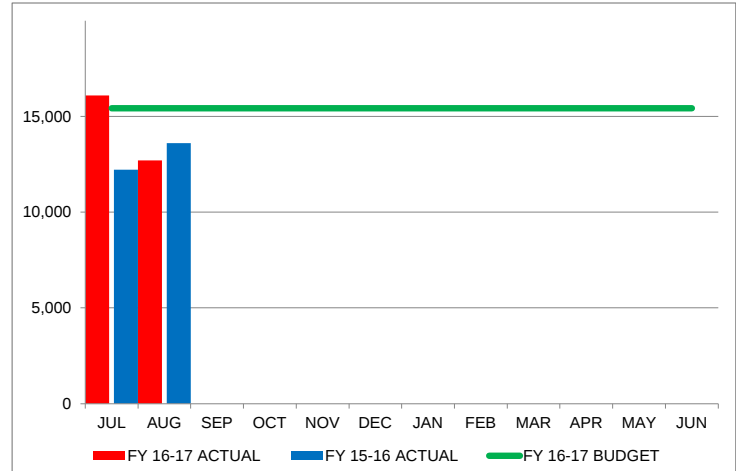


Sales Tax is the largest single revenue source for the General Fund and the City, and represents almost 70% of the General Fund Revenue Budget.

Sales tax collections YTD were below budget by -7.2%, and fell short of prior year by -6.1%.

USE TAX

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 15,417	\$ 16,096	\$ 679	4.4%	\$ 12,215
AUG	15,417	12,696	(2,721)	-17.6%	13,594
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YTD	\$ 30,833	\$ 28,792	\$ (2,042)	-6.6%	\$ 25,808

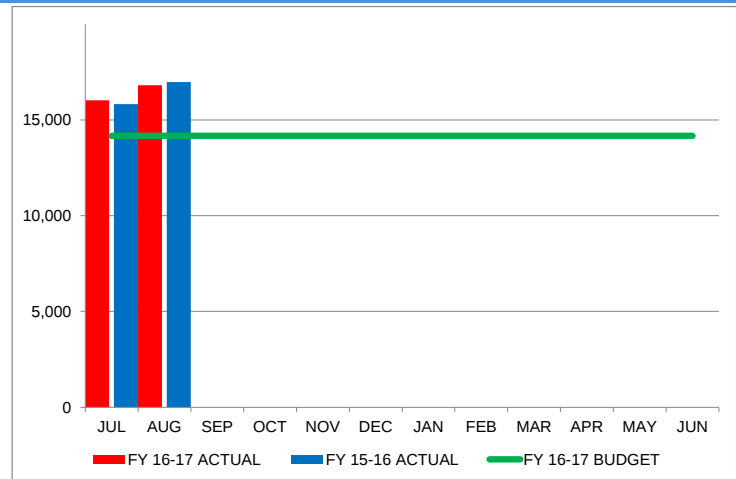


Use Tax is levied on goods that are bought in other states and then imported to Oklahoma for use. This tax is applied in lieu of the sales tax because the goods were originally bought outside the state. Because use tax is often related to construction activity, collections can fluctuate widely from month to month and year to year.

Use tax collections YTD through August fell short of budget by -6.6%, but exceeded prior YTD by 11.6%.

HOTEL/MOTEL TAX

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 14,167	\$ 16,029	\$ 1,862	13.1%	\$ 15,818
AUG	14,167	16,818	2,651	18.7%	16,976
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YTD	\$ 28,333	\$ 32,847	\$ 4,513	15.9%	\$ 32,795

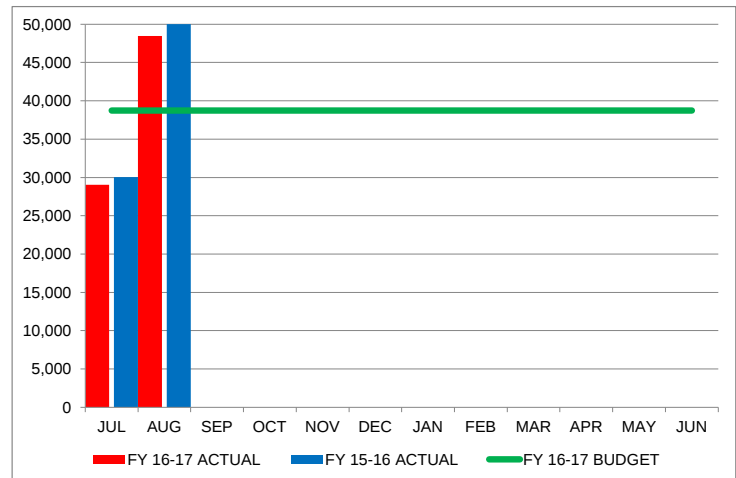


Hotel/Motel tax is a 5% tax collected on the gross revenues of hotel and motel establishments.

Hotel/Motel tax collections YTD through August exceeded budget 15.9%, and exceeded prior YTD by 0.2%.

FRANCHISE TAX

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 38,750	\$ 29,052	\$ (9,698)	-25.0%	\$ 30,052
AUG	38,750	48,456	9,706	25.0%	71,340
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YTD	\$ 77,500	\$ 77,508	\$ 8	0.0%	\$ 101,392

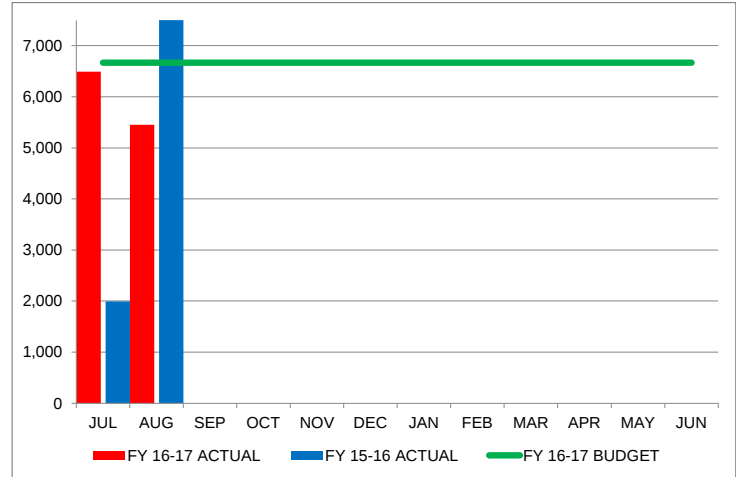


Franchise and Utility Fees are charged to public utilities for the use of City-owned rights of way by the utilities for their infrastructure. Franchise taxes typically vary with weather conditions, a major factor affecting utility revenues.

Franchise tax collections YTD through August was on target with budget, but fell short of prior YTD by -23.6%.

E911 FEES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 6,667	\$ 6,493	\$ (174)	-2.6%	\$ 1,991
AUG	6,667	5,451	(1,215)	-18.2%	8,475
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YTD	\$ 13,333	\$ 11,944	\$ (1,389)	-10.4%	\$ 10,466

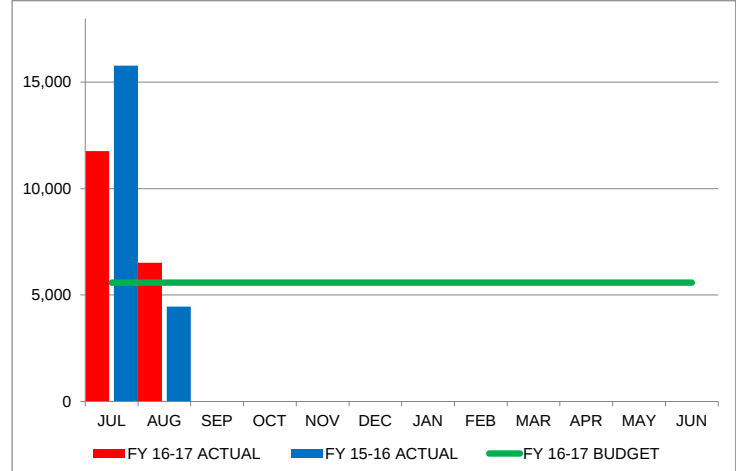


E911 Fees are charges imposed on consumers collected by phone service providers to provide funding for the operation of the 911 emergency response system.

E911 fee collections YTD through August fell short of budget -10.4%, but exceeded prior year by YTD by 14.1%.

LICENSES AND PERMITS

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 5,575	\$ 11,762	\$ 6,187	111.0%	\$ 15,780
AUG	5,575	6,518	943	16.9%	4,451
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YTD	\$ 11,150	\$ 18,280	\$ 7,130	63.9%	\$ 20,231

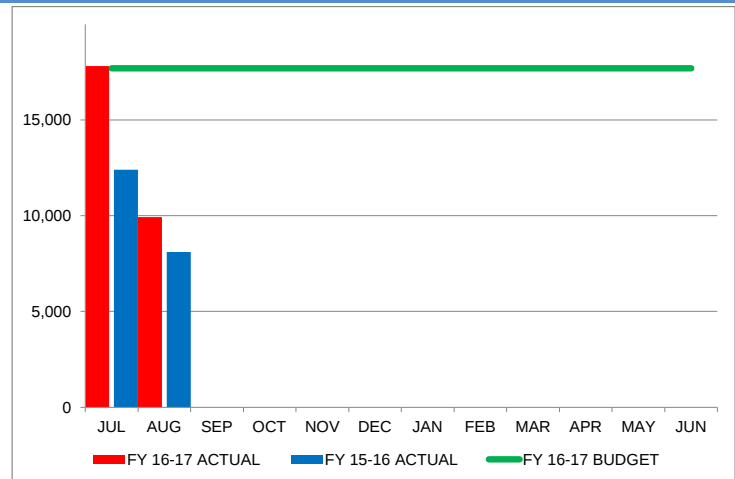


Permits and Fees includes Building Permits, Trade Licenses, Pet Licenses, Assessment Fees and Fireworks and Sign Permits.

Permits and Fees YTD through August exceeded budget by 63.9% but fell short of prior year by -9.6%.

CHARGES FOR SERVICES

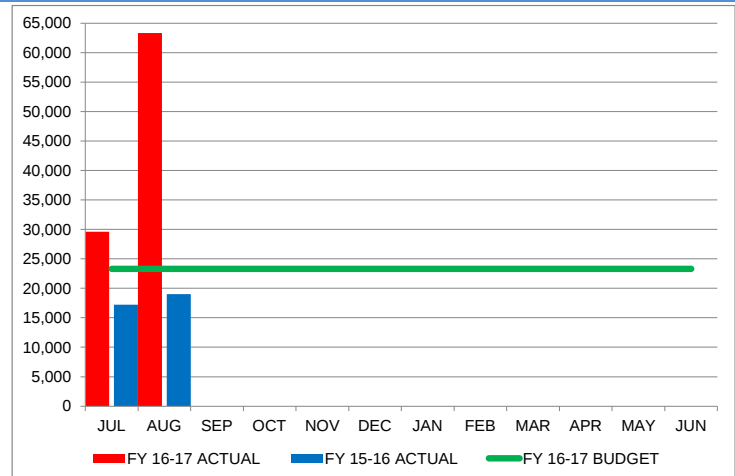
	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 17,696	\$ 17,805	\$ 109	0.6%	\$ 12,405
AUG	17,696	9,922	(7,775)	-43.9%	8,105
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JUN					
YTD	\$ 35,392	\$ 27,726	\$ (7,666)	-21.7%	\$ 20,510



Charges for Services includes Development, Zoning and Inspection Fees, Dog Pound Fees, GEMS reimbursement, Police Specials Services (SRO) and charges for Police Reports. Charges for Services YTD through August fell short of budget by -21.7%, but exceeded prior year by 35.2%.

INTERGOVERNMENTAL

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 23,304	\$ 29,599	\$ 6,295	27.0%	\$ 17,193
AUG	23,304	63,303	39,999	171.6%	18,998
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YTD	\$ 46,608	\$ 92,902	\$ 46,294	99.3%	\$ 36,191

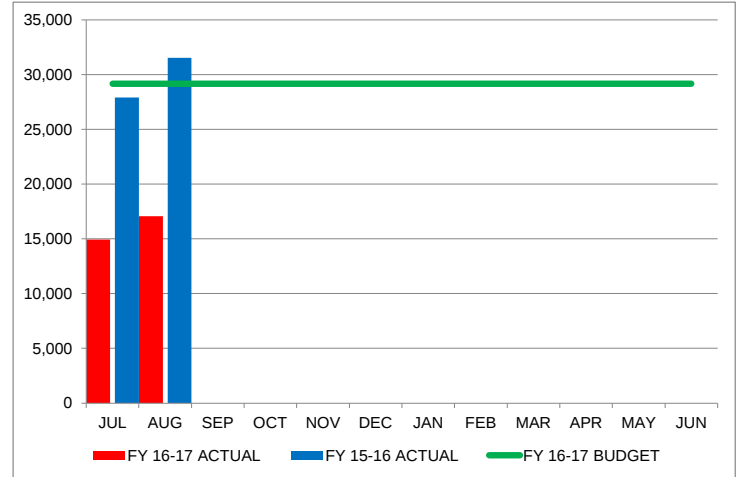


Intergovernmental revenues includes excise taxes, cigarette taxes, alcoholic beverage taxes and commercial vehicle taxes collected by the state, as well as grants from federal and local agencies which support activities that would typically not be undertaken without grant funding. Reimbursement for the purchase of a senior bus was received in December FY14-15. The FY15-16 budget anticipates CDBG funding for improvements at the Senior Center, but has not yet been received.

Intergovernmental YTD through August exceeded budget by 99.3%, and exceeded prior year by 156.7%.

FINES AND FORFEITURES

	FY 16-17		FY 16-17		BUDGET		FY 15-16	
	BUDGET		ACTUAL		VAR.	% VAR.	ACTUAL	
JUL	\$ 29,167	\$	14,921	\$	(14,246)	-48.8%	\$ 27,905	
AUG	29,167		17,069		(12,098)	-41.5%	31,517	
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MAY								
JUN								
YTD	\$ 58,333	\$	31,989	\$	(26,344)	-45.2%	\$ 59,422	

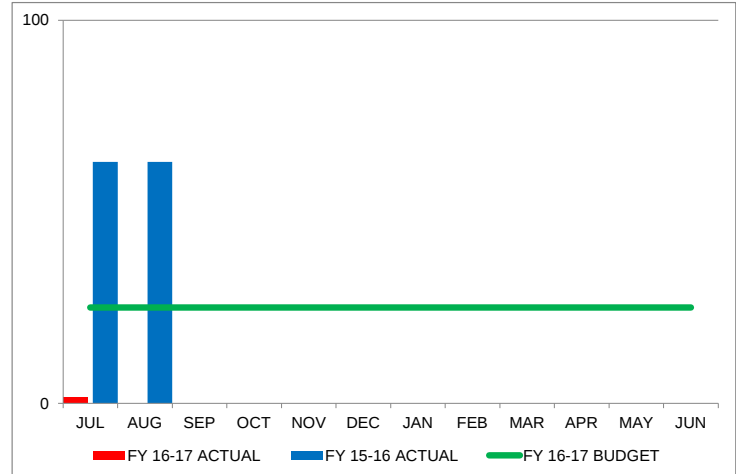


Fines and Forfeitures include Municipal Court fines and Federal Forfeiture Revenue.

Fines & Forfeitures YTD through August fell short of budget by -45.2%, and were below prior year by -46.2%.

INVESTMENT INCOME

	FY 16-17		FY 16-17		BUDGET		FY 15-16	
	BUDGET		ACTUAL		VAR.	% VAR.	ACTUAL	
JUL	\$ 25	\$	2	\$	(23)	-94.0%	\$ 63	
AUG	25		-		(25)	-100.0%	63	
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JUN								
YTD	\$ 50	\$	2	\$	(48)	-97.0%	\$ 126	

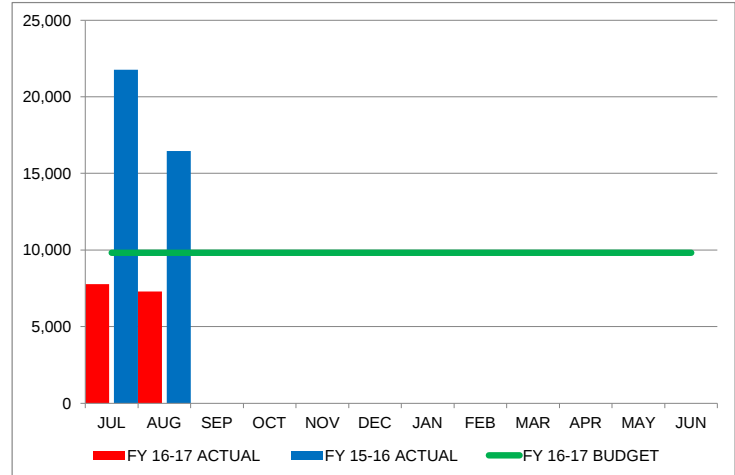


Investment Income is interest on deposits.

Investment Income YTD through August fell short of budget by -97% and below prior year by -98.8%.

MISCELLANEOUS/OTHER

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 9,820	\$ 7,765	\$ (2,055)	-20.9%	\$ 21,764
AUG	9,820	7,297	(2,523)	-25.7%	16,464
SEP					
OCT					
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JAN					
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MAY					
JUN					
YTD	\$ 19,641	\$ 15,063	\$ (4,578)	-23.3%	\$ 38,228

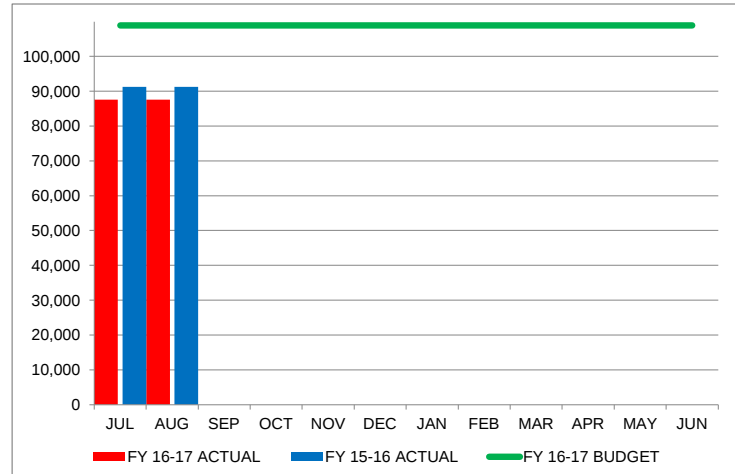


Other Revenue consists of sale of assets, refunds, and rental income for municipal buildings and tower antenna space.

Miscellaneous revenues YTD through August fell short of budget by -23.3%, and prior year by -60.6%.

OTHER FINANCING SOURCES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 108,882	\$ 87,625	\$ (21,257)	-19.5%	\$ 91,293
AUG	108,882	87,625	(21,257)	-19.5%	91,293
SEP					
OCT					
NOV					
DEC					
JAN					
FEB					
MAR					
APR					
MAY					
JUN					
YTD	\$ 217,764	\$ 175,250	\$ (42,514)	-19.5%	\$ 182,587



Transfers from the Glenpool Utility Services Authority and the Glenpool Industrial Authority represent a reimbursement (on an annualized basis) from those funds for services provided by the General Fund. In addition, proceeds from the issuance of debt as well as use of fund balance on accounted for in this revenue category.

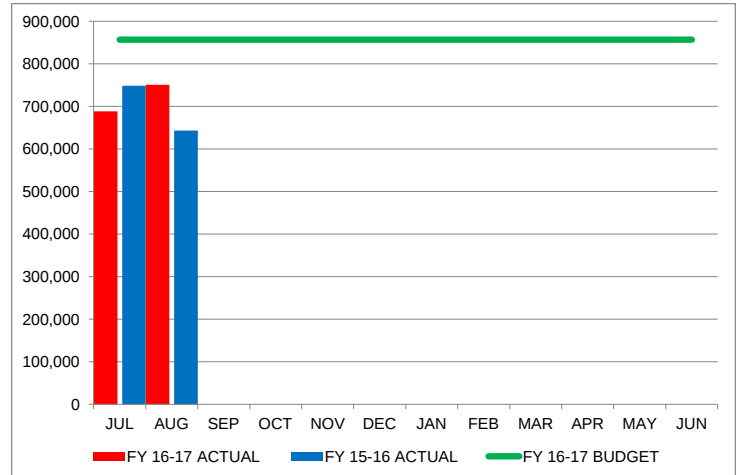
Transfers YTD through August fell short of budget by -19.5% , and were below prior year by -4.0%.

GENERAL FUND EXPENDITURE ANALYSIS

AUGUST 2016

EXPENDITURES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 856,649	\$ 688,215	\$ (168,433)	-19.7%	\$ 748,590
AUG	856,649	750,628	(106,021)	-12.4%	643,106
SEP					
OCT					
NOV					
DEC					
JAN					
FEB					
MAR					
APR					
MAY					
JUN					
YTD	\$ 1,713,297	\$ 1,438,843	\$ (274,454)	-16.0%	\$ 1,391,696



General Fund expenditures YTD were under budget YTD by -16.0%, and 3.4% above prior year YTD.

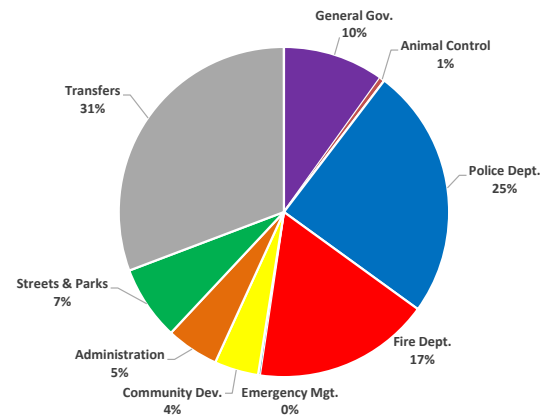
EXPENDITURES BY DEPARTMENT

	YTD 2017 Budget	YTD 2017 Actual	YTD 2016 Budget	YTD 2016 Actual
General Gov.	\$ 162,379	\$ 142,458	\$ 139,997	\$ 137,748
Animal Control	12,638	6,857	Reported with Police in FY16	
Police Dept.	357,851	353,966	384,580	325,353
Fire Dept.	293,407	249,708	281,940	231,815
Emergency Mgt.	8,833	2,500	3,500	-
Community Dev.	97,270	62,109	69,953	67,887
Administration	86,215	73,935	94,916	83,397
Streets & Parks	144,068	104,878	136,637	64,001
Transfers	550,636	442,431	512,659	481,495
Totals	\$ 1,713,297	\$ 1,438,843	\$ 1,624,183	\$ 1,391,695

Increase over prior year: 5.5% 3.4%

Excluding transfers, General Fund expenditures YTD are 8.7% above prior year.

YTD Percent Expenditures by Department

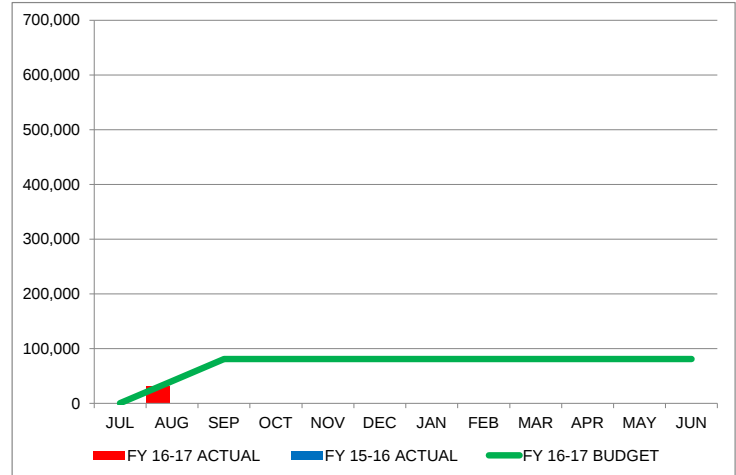


**SPECIAL REVENUE FUND:
PUBLIC SAFETY PERSONNEL**

AUGUST 2016

SALES TAX

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ -	\$ -	\$ -	0.0%	\$ -
AUG	40,335	31,057	(9,278)	-23.0%	-
SEP					
OCT					
NOV					
DEC					
JAN					
FEB					
MAR					
APR					
MAY					
JUN					
YTD	\$ 40,335	\$ 31,057	\$ (9,278)	-23.0%	\$ -

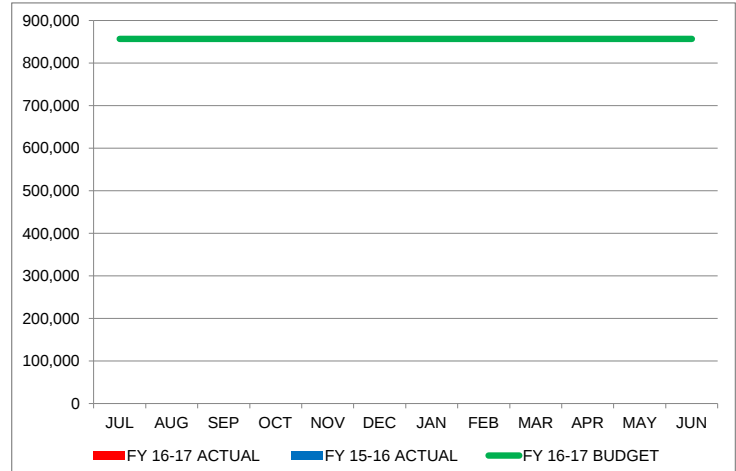


Sales tax collections YTD were below budget by -23.0%.

PUBLIC SAFETY PERSONNEL FUND EXPENDITURE ANALYSIS

EXPENDITURES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 70,591	\$ -	\$ (70,591)	-100.0%	\$ -
AUG	70,591	-	(70,591)	-100.0%	-
SEP					
OCT					
NOV					
DEC					
JAN					
FEB					
MAR					
APR					
MAY					
JUN					
YTD	\$ 141,183	\$ -	\$ (141,183)	-100.0%	\$ -



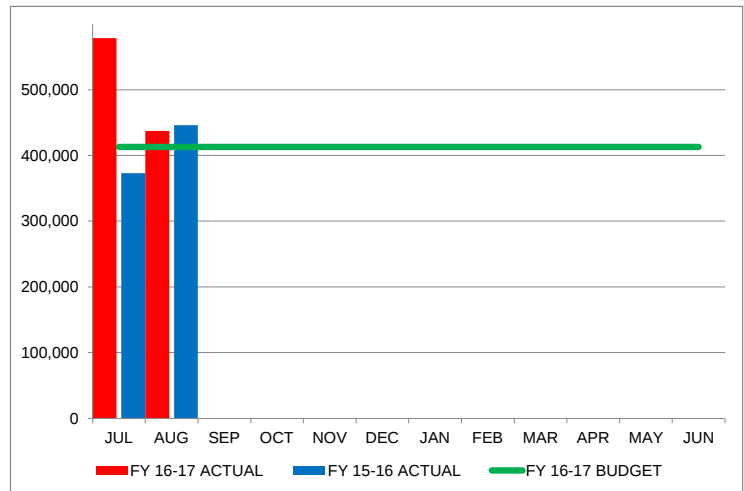
There are no expenditures YTD.

GLENPOOL UTILITY SERVICES AUTHORITY (GUSA):
OVERALL FUND PERFORMANCE

AUGUST 2016

CHARGES FOR SERVICES

	FY 16-17 BUDGET	FY 16-17 ACTUAL	BUDGET VAR.	% VAR.	FY 15-16 ACTUAL
JUL	\$ 412,779	\$ 578,279	\$ 165,500	40%	\$ 372,872
AUG	412,779	437,057	24,278	6%	446,154
SEP					
OCT					
NOV					
DEC					
JAN					
FEB					
MAR					
APR					
MAY					
JUN					
Totals	\$ 825,559	\$ 1,015,336	\$ 189,777	23.0%	\$ 819,026

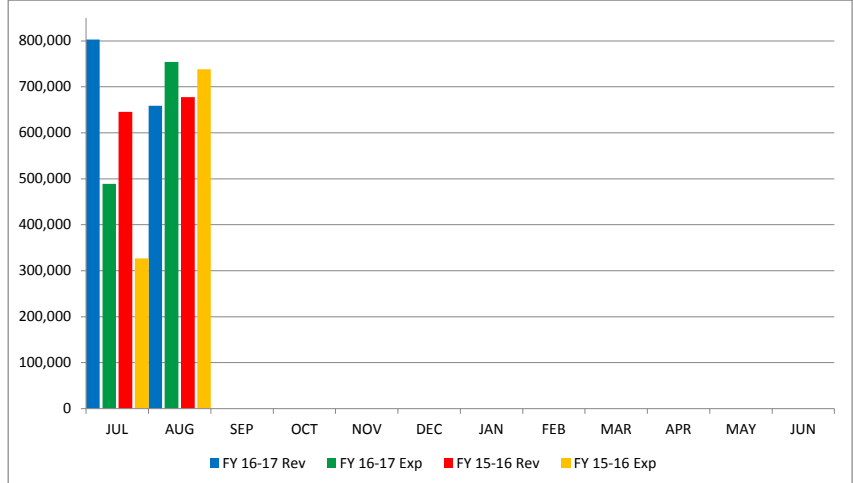


Charges for Services are 23.0% over budget YTD and 45.6% over prior year. Billed consumption was 25,923 thousand gallons compared to 28,039 thousand gallons in August, 2015, a 7.5% decrease in volume. However, customer accounts increased by 7.7% over prior year, and average rate per gallon increased by 1.3%.

AUGUST 2016

REVENUE VS EXPENDITURES

	FY 16-17 Rev	FY 16-17 Exp	FY 15-16 Rev	FY 15-16 Exp
JUL	\$ 803,226	\$ 489,098	\$ 645,322	\$ 326,428
AUG	658,528	754,153	677,988	737,942
SEP				
OCT				
NOV				
DEC				
JAN				
FEB				
MAR				
APR				
MAY				
JUN				
Totals	\$ 1,461,755	\$ 1,243,252	\$ 1,323,310	\$ 1,064,370



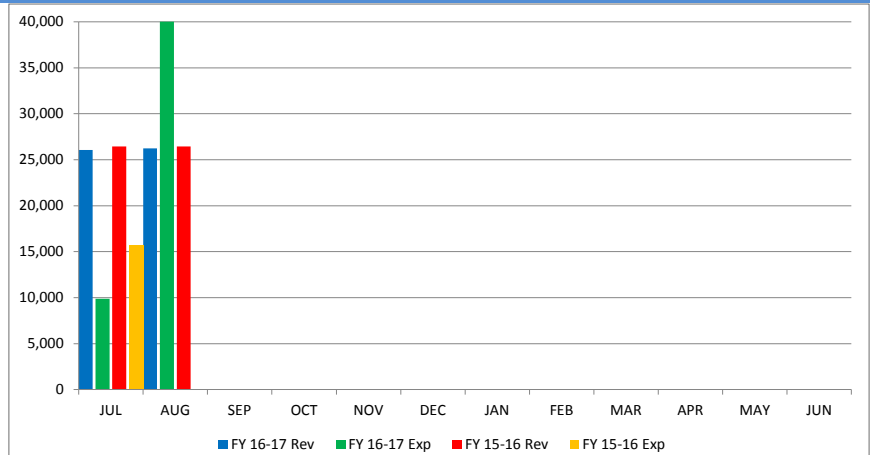
GUSA Net Income through August was -15.6% below prior year to date.

GLENPOOL INDUSTRIAL AUTHORITY (GIA):
OVERALL FUND PERFORMANCE

AUGUST 2016

TOTAL REVENUE VS EXPENDITURES

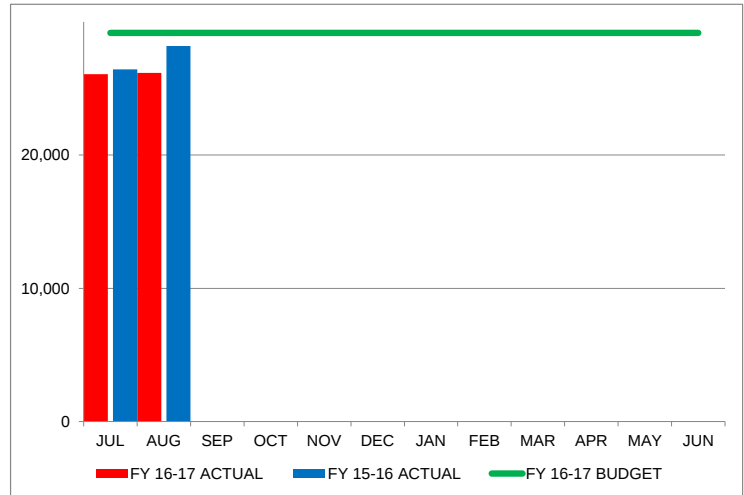
	FY 16-17		FY 16-17		FY 15-16		FY 15-16	
	Rev		Exp		Rev		Exp	
JUL	\$	26,077	\$	9,892	\$	26,440	\$	15,660
AUG		26,218		44,436		26,440		
SEP								
OCT								
NOV								
DEC								
JAN								
FEB								
MAR								
APR								
MAY								
JUN								
Totals	\$	52,295	\$	54,328	\$	52,879	\$	15,660



Industrial Authority Net income YTD through August was down 105.5% over prior year, primarily due Hotel Tax rebates paid in August.

CONFERENCE CENTER RENTAL FEES

	FY 16-17		FY 16-17		BUDGET		FY 15-16	
	BUDGET		ACTUAL		VAR.		ACTUAL	
JUL	\$	29,167	\$	26,077	\$	(3,090)	-11%	\$ 26,440
AUG		29,167		26,168		(2,999)	-10%	28,179
SEP								
OCT								
NOV								
DEC								
JAN								
FEB								
MAR								
APR								
MAY								
JUN								
Totals	\$	58,333	\$	52,245	\$	(6,088)	-10.4%	\$ 54,619



Conference Center revenues from Rental Fees through August were under budget by -10.4%, and down -1.4% over prior year YTD.

MINUTES

CITY COUNCIL MEETING

October 3, 2016

The Regular Session of the Glenpool City Council was held at Glenpool City Hall, 3rd Floor, 12205 S. Yukon Ave, Glenpool, Oklahoma. Councilors present: Patricia Agee, Councilor; Brandon Kearns, Councilor; Jacqueline Triplett-Lund, Councilor; Momodou Ceesay, Vice Mayor; and Timothy Fox, Mayor.

Staff present: Roger Kolman, City Manager; Lowell Peterson, City Attorney; Susan White, City Clerk; Julie Casteen, Finance Director; Lynn Burrow, Community Development Director; Rick Malone, City Planner; and Dennis Waller, Police Chief.

Also present was Greg Conner, Faith Church.

- A) Mayor Fox called the meeting to order at 6:31 p.m.**
- B) Susan White, City Clerk called the roll. Mayor Fox declared a quorum present.**
- C) Greg Conner, Faith Church offered the Invocation.**
- D) Mayor Fox led the Pledge of Allegiance.**
- E) City Manager Report – Roger Kolman, City Manager**
 - Mr. Kolman announced that the first annual Spooktackular Fest is scheduled for October 23. It will be a safe, family-friendly alternative to trick-or-treat.
 - The results from the citizen survey are in. 488 people responded. Those responding indicated they would most like to see retail clothing stores, sit-down restaurants, and entertainment/attractions added to Glenpool's offerings. Mr. Kolman and Mayor Fox will share the results with retailers at ICSC, Texas this coming week. Some other interesting facts gleaned from the survey are that most people don't know the City offers BlackBoard Connect to citizens as a way to receive emergency alerts; forty-two percent of Glenpool citizens do not currently recycle however they are interested in a curbside recycle program. Other information centered on Black Gold Days, with a large percentage expressing a desire to change the date to a cooler time of the year.
- F) Mayor Report – Timothy Fox, Mayor**
 - Mayor Fox announced he and Mr. Kolman will be attending ICSC, Texas Wednesday through Friday of this week.
 - Mayor Fox announced he will be meeting with US Senator James Lankford on October 26.
 - He also encouraged Glenpool citizens to participate in the Spooktackular Fest.
- G) Council Comments**
 - None
- H) Public Comments**

- None.

I) Scheduled Business

1) Discussion and possible action to approve minutes from September 19, 2016 meeting.

MOTION: Councilor Lund moved, second by Vice Mayor Ceesay to approve minutes from September 19, 2016 as presented.

FOR: Councilor Lund; Vice-Mayor Ceesay; Mayor Fox

ABSTAIN: Councilor Agee; Councilor Kearns (were absent from Sept. 19 meeting)

AGAINST: None

Motion carried.

2) Discussion and possible action to approve sales tax administration agreement with Oklahoma Tax Commission.

Susan White, City Clerk informed the Council that the new OTC Administration Agreement reflects the 5.1% tax, effective January 1, 2017. She recommended approval.

MOTION: Vice Mayor Ceesay moved, second by Councilor Agee to approve Administration Agreement with Oklahoma Tax Commission as presented.

FOR: Vice-Mayor Ceesay; Mayor Fox; Councilor Agee; Councilor Kearns; Councilor Lund

AGAINST: None.

Motion carried.

3) Discussion and possible action to appoint members to the Comprehensive Plan Advisory Committee.

Mayor Fox and Councilor Kearns volunteered to serve on the Committee.

MOTION: Councilor Lund moved, second by Vice Mayor Ceesay to appoint Mayor Fox and Councilor Kearns to the Comprehensive Plan Advisory Committee.

FOR: Mayor Fox; Councilor Agee; Councilor Kearns; Councilor Lund; Vice-Mayor Ceesay

AGAINST: None.

Motion carried.

J) Adjournment.

- Meeting was adjourned at 6:50 p.m.

Date

Mayor

ATTEST:

City Clerk



To: Hon. Timothy L. Fox, Mayor
Hon Momodou Ceesay, Vice Mayor
Members of the City Council

From: John Staires, Building Official

Date: October 7th, 2016

Subject: Building Code Amendment

Background

The Oklahoma Uniform Building Code Commission Act, Title 59-Professions and Occupations, §§ 1000.20 *et seq.* of the Oklahoma Statutes, (the “Act”) authorizes the Oklahoma Uniform Building Code Commission (“Commission”) to review and adopt all building codes, along with statewide amendments, for residential and commercial construction to be used by all entities within the State of Oklahoma. The codes and standards adopted by the Commission are established as the minimum standards for residential and commercial construction throughout the State. All cities and towns in the State that adopt a building code are required by the Act to adopt and enforce the codes adopted by the Oklahoma Uniform Building Code Commission as their minimum construction standards.

The Act also grants any municipality the authority to enact and enforce ordinances containing more stringent standards than the minimum standards set by the Commission, and to amend its ordinances to make changes that are necessary to accommodate local conditions. Local changes that deviate from the Commission’s codes must be submitted to and approved by the Commission. Local adoption of the codes enacted by the commission gives the City the ability to enforce both the statewide codes and the amendments. The following code will go into effect statewide on November 1st, 2016:

2015 International Residential Code (IRC)

Construction standards are codified by the International Code Council and the National Fire Protection Association and are amended every three years. The codes referenced for adoption in Ordinance No. 724 cover residential construction work. At this time, I am not proposing any local amendments to the 2015 International Residential Code.

Staff Recommendation

Staff recommends that the Council adopt Ordinance No. 724, which adopts and incorporates the above-listed code by reference, and establishes certain appropriate local amendments.

Attachments:

- Ordinance No. 724
- Emergency Clause

ORDINANCE NUMBER 724

AN ORDINANCE AMENDING TITLE 10, BUILDING AND DEVELOPMENT; CHAPTER 2, BUILDING CODES AND REGULATIONS; ARTICLE A, BUILDING CODES; SECTION 1, ADOPTION OF CODES (§ 10-2A-1); REPEALING ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH; AND DECLARING AN EMERGENCY

WHEREAS, Pursuant to the Oklahoma Uniform Building Code Commission Act, Title 59-Professions and Occupations, §§ 1000.20 *et seq.* of the Oklahoma Statutes, (the “Act”) the Oklahoma Uniform Building Code Commission (“Commission”) has the power and the duty to review and adopt all building codes for residential and commercial construction to be used by all political subdivisions and code enforcement authorities within the State of Oklahoma; and

WHEREAS, Codes and standards adopted by the Commission are established as the minimum standards for residential and commercial construction throughout the State; and

WHEREAS, Any municipality that adopts building standards is required by the Act to adopt and enforce codes adopted by the Oklahoma Uniform Building Code Commission as the minimum construction standards to be implemented in such municipality; and

WHEREAS, The Act grants to any municipality the authority to enact and enforce ordinances containing more stringent standards than the minimum standards set by the Commission and to amend such ordinances from time to time to make changes necessary to accommodate local conditions; provided, such changes shall be approved by the Commission; and

WHEREAS, It will be beneficial to the City of Glenpool and its residents to clarify and provide enforcement for the policy of making property re-inspections; and

WHEREAS, there have been updates or amendments to the building codes applicable to the City of Glenpool.

THEREFORE, BE IT ORDAINED by the City Council of the City of Glenpool **THAT**:

§ 1. The following section of Title 10, Building and Development; Chapter 2, Building Codes and Regulations; Article A, Building Codes; Section 1, Adoption of Codes, of the Ordinances for the City of Glenpool shall be and hereby is amended to read as follows:

10-2A-1: ADOPTION OF CODES:

The following codes, except as they may be exceeded or supplemented by applicable provisions of any building, mechanical, plumbing, electrical or other codes adopted or to be adopted or amended by the Oklahoma Uniform Building Code Commission pursuant to senate bill no. 1182 (effective May 22, 2009), shall be established for all construction, alteration, use, occupancy, and maintenance of all buildings and other structures within the corporate limits of the city:

2015 International Building Code (IBC)

2015 International Residential Code (IRC)

2015 International Mechanical Code (IMC)

2015 International Plumbing Code (IPC)

2015 International Property Maintenance Code (IPMC)

2015 International Existing Building Code (IEBC)

2015 NFPA 101 Life Safety Code (NFPA 101-2015).

2015 International Fire Code (IFC)

2015 International Fuel Gas Code (IFGC)

2014 National Electrical Code (NEC)

(Ord. 655, 1-2-2012; amd. 2013 Code)

§ 3. The City may begin enforcing the standards and requirements of this Ordinance, to the extent they meet or exceed standards and requirements of any building, mechanical, plumbing, electrical or other codes adopted or to be adopted or amended by the Oklahoma Building Code Commission, or are permissible as local amendments pursuant to the Oklahoma Uniform Building Code Commission Act, *no fewer than 30 days after submitting such standards and requirements to the Oklahoma Uniform Building Code Commission in such form as the Commission may prescribe.*

§ 4. Legal publication of this Ordinance may be done by publishing the title and a summary of its contents and shall not require publication of the entire Ordinance.

§ 5. At least one copy of this Ordinance shall be kept in the offices of the City Clerk and the Community Development Department for public use, inspection, and examination. Each of the City Clerk and the Community Development Department shall keep copies of this Ordinance for distribution to the public as requested.

§ 6. Except as otherwise amended by this Ordinance, Title 10, Building and Development of the City of Glenpool City Code (2013), shall remain unchanged and in full force and effect.

§ 7. All ordinances or parts of ordinances in conflict herewith shall be and the same are hereby repealed.

§ 8. The City Council, by separate vote, finds that this Ordinance shall be immediately effective in order to protect the public safety, health and welfare, and declares an emergency for that purpose.

PASSED AND APPROVED by the City Council of the City of Glenpool this 17th day of October 2016.

Timothy Lee Fox, Mayor

Attest:

[SEAL]

Susan White, City Clerk

Approved as to form:

Lowell Peterson, City Attorney

Emergency Clause

WHEREAS, it being immediately necessary for the preservation of the peace, health, and safety of the City of Glenpool and the inhabitants thereof that the provisions of Ordinance No. 724, An Ordinance Amending Title 10, Building And Development; Chapter 2, Building Codes And Regulations; Article A, Building Codes; Section 1, Adoption Of Codes (§ 10-2A-1); Repealing Ordinances Or Parts Of Ordinances In Conflict Herewith; And Declaring An Emergency, more particularly that Title 11 § 14-107(B) of the Oklahoma statutes requires the City of Glenpool to adopt and enforce codes adopted by the Oklahoma Uniform Building Code Commission by scheduled effective dates, an emergency is hereby declared to exist, by reason whereof said Ordinance No. 724 shall take effect and be in full force from and after its passage as provided by law.

PASSED and the Emergency Clause ruled upon separately and approved this 17th day of October 2016.

Timothy Lee Fox, Mayor

Attest:

[SEAL]

Susan White, City Clerk

Approved:

Lowell Peterson, City Attorney

RESOLUTION NO. 16-10-01 OF THE CITY OF GLENPOOL

A RESOLUTION OF THE CITY OF GLENPOOL, OKLAHOMA, SIGNIFYING THE CITY COUNCIL'S ENDORSEMENT OF THE TULSA REGIONAL CHAMBER'S "2017 ONEVOICE LEGISLATIVE AGENDA," AND ESTABLISHING AND SUPPORTING STATE AND FEDERAL LEGISLATIVE PRIORITIES CONCERNING ITEMS OF MUTUAL MUNICIPAL INTEREST THAT THE TULSA REGIONAL CHAMBER OF COMMERCE WILL ADVOCATE TO THE REGION'S STATE AND FEDERAL LEGISLATIVE MEMBERS

WHEREAS, the Tulsa Regional Chamber of Commerce ("Chamber"), in conjunction with its 2016 annual summit of public and private community organizations, has prepared a list of fifteen legislative priorities at each of the State and Federal levels that represents a consensus of the groups and individuals attending the meeting; and

WHEREAS, the Chamber will promote the fifteen State and fifteen Federal legislative priorities in the legislative chambers of the Oklahoma State and Federal governments as the "2017 Tulsa OneVoice Legislative Agenda;" and

WHEREAS, experience shows that lobbying efforts behind legislative proposals of positive interest to the City of Glenpool are more likely to be effective, and the measures more likely to be adopted, when presented as a unified front; and

WHEREAS, State priorities for 2017 include support for: Improving the ability of Oklahoma's public schools to attract and retain career teachers; Expanding behavioral health and substance abuse services; Expanding "Insure Oklahoma" and passing the Medicaid Rebalancing Act; Addressing current and future healthcare worker shortages; Opposing school vouchers and any program directing public funds to private schools; Safeguarding current funding for Oklahoma's educational institutions; Defending all existing road funding; Supporting completion of the Gilcrease Expressway; Sentencing reforms and rehabilitation programs; Tax credits, exemptions and incentives to promote economic development; Continued funding for Oklahoma Center for the Advancement of Science and Technology; Improving the business climate for oil and gas production; Legislation to preserve and diversify sources of revenue available to municipalities; Continuing to protect the current law giving venue owners, event operators and recreational facilities the authority to control firearm policies on property they own; and Funding regional clean air initiatives.

WHEREAS, Federal priorities for 2017 include support for: Fully funding graduate medical education programs that benefit HRSA Teaching Health Centers; Reauthorization and funding of the Higher Education Act; Long-term reauthorization of Oklahoma's Section 1115

waiver for Insure Oklahoma; Large-scale reform of the national mental health system; Efforts to expedite implementation of the Arkansas River Corridor Project; Increasing Congressional appropriations to address the \$180,000,000 maintenance backlog of the McClellan-Kerr Arkansas River Navigation System; Addressing the critical infrastructure needs of Tulsa's aging levee system; Efforts to accelerate federal permitting for domestic energy independence projects; Passage of the Marketplace Fairness Act; Maintaining federal Historic Rehabilitation Tax Credits; Comprehensive immigration reform; Positioning the 138th Fighter Wing for selection as an operating location for the F-35 Lightning II; Changes in labor regulations to ensure fairness for employers and employees; Restricting federal rulemaking authority by requiring cost/benefit analysis; and Avoiding the economic burden of non-attainment of the 2015 EPA ground level ozone standard.

WHEREAS, the City of Glenpool, as well as other metropolitan area cities, will benefit from the "2017 OneVoice Legislative Agenda" as more fully described in the attachment to this Resolution.

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Glenpool THAT:

§ 1. The City of Glenpool hereby endorses the 2017 Tulsa Regional "OneVoice Legislative Agenda" as attached hereto and incorporated herein.

§ 2. A record of this Resolution shall be submitted to the Tulsa Regional Chamber as evidence of the City of Glenpool's support and the City of Glenpool's consent that the same shall be directed to all members of the Oklahoma legislature representing districts that include the City of Glenpool, and to all members of the Oklahoma Congressional delegation, and otherwise publicized in any manner deemed appropriate or necessary by the Tulsa Regional Chamber.

PASSED AND APPROVED by the City Council of the City of Glenpool this 17th day of October 2016.

Timothy Lee Fox, Mayor

ATTEST:

[SEAL]

Susan White, City Clerk

APPROVED AS TO FORM:

Lowell Peterson, City Attorney

2017 Regional Legislative Agenda

State Priorities

EDUCATED AND HEALTHY WORKFORCE

- **Address the Teacher Shortage**
 - Improve the ability of Oklahoma's Pre-K-12 public schools to attract and retain effective career teachers through policies designed to increase the state's pool of qualified teachers and improve teachers' job satisfaction. This should include ensuring competitive teacher pay; incentivizing education for aspiring teachers; eliminating barriers for alternative certification, special education and returning retired teachers; ensuring low student-teacher ratios; and supporting professional development. Oklahoma's ability to fill its growing teacher shortage with quality, effective teachers is crucial to the college and career success of its students and the sustainability of its workforce.
- **Behavioral Health Services**
 - Expand behavioral health and substance abuse services that improve workforce efficiency, boost public safety, create efficiencies in state spending and help additional Oklahomans suffering from behavioral health issues. This should include increasing funding for the Department of Mental Health and Substance Abuse Services; expanding mental health and drug courts to decrease unnecessary incarcerations; preparing judicial districts to enact the Labor Commissioner Mark Costello Act, with adequate funding for new assisted outpatient treatment; and expanding the use of assisted outpatient treatment by broadening the definition of who can petition courts to seek an order for outpatient treatment.
- **Expand Insure Oklahoma**
 - Expand Insure Oklahoma and pass the Medicaid Rebalancing Act to reduce the number of uninsured Oklahomans by accepting federal funds. This will improve the health of Oklahoma's workforce, strengthen behavioral health services and create sustainable jobs in rural and urban areas — all of which are paramount to an economically viable Oklahoma.
- **Healthcare Workforce Expansion**
 - Address current and future healthcare workforce needs in urban and rural Oklahoma through the following means: 1) Use all available state and federal resources to support and expand Teaching Health Center related programs, including by expanding the Oklahoma Hospital Residency Training Act to include community-based training; 2) Support the Physician Manpower Training Commission, which is uniquely situated to serve as a valuable resource on provider workforce issues; 3) Support reforms that will allow Nurse Practitioners and Physician Assistants with appropriate levels of training and experience to practice to the full extent of their license without the physical presence of a supervising physician; and 4) Support efforts to expand the availability, funding and utilization of telehealth services in a manner that enhances locally-provided healthcare services.
- **Oppose School Vouchers**
 - Oppose school vouchers and any programs directing public funds to private schools, including Education Savings Accounts and private school tax credits. Taxpayer money should instead be spent on improving public schools, where those funds can be used more effectively to improve academic outcomes for more students and maintain the strength of local school districts.

2017 Regional Legislative Agenda

- **Restore Education Funding**

- Safeguard current funding for Oklahoma's education institutions and resolve to restore funding levels to their pre-Recession highs relative to enrollment. Long-term trends of reduced funding for Pre-K-12, higher education and CareerTech have curtailed the ability of Oklahoma's education systems to produce an educated workforce, making the state less competitive for new and expanding businesses and damaging its reputation around the world as a quality place to live, work and build a business. Oklahoma must make up ground to ensure an economically vibrant state.

BUILDING INFRASTRUCTURE CRITICAL TO BUSINESS

- **Defend Existing Road Funding and Dedicate Motor Vehicle Fees**

- Defend all existing road funding; prevent any diversion of monies; and support increased funding for transportation by developing an adequate, comprehensive funding strategy and financing plan to broaden the sources of funds and increase the total amount going to transportation statewide to support the Oklahoma Department of Transportation's Eight Year Plan, the County Improvement for Roads and Bridges Five Year Plan, the municipal Street and Alley Fund and the construction and operation of Oklahoma's planned weigh stations. Support moving the remaining 25% of motor vehicle fees, which currently go into the state general revenue fund, to transportation priority areas which may include state highways, city and county roads and bridges, and public transit. Support the following regional high-priority projects: widening of I-44 from I-244 east to the Will Rogers Turnpike; widening I-44 from the Arkansas River west to I-244 (Red Fork Expressway); expansion of U.S. 169 to six lanes north to State Highway 20; realignment of Highway 20 from U.S. 169 to Claremore; construction of a four-lane Port Road on Highway 266 from U.S. 169 to the Port of Catoosa, and from the Port of Catoosa to I-44; and expansion of US-75 to six lanes from State Highway 11 to State Highway 67.

- **Gilcrease Expressway**

- Support the completion of the Gilcrease Expressway from I-44 to US-412/Edison as a part of the Oklahoma Driving Forward initiative through a funding partnership with the City of Tulsa, Tulsa County, INCOG, Oklahoma Department of Transportation, Oklahoma Turnpike Authority and tribal governments to expedite this long overdue transportation project.

ENSURING A PROSPEROUS ECONOMY

- **Criminal Justice Reform**

- Support sentencing reforms and rehabilitation programs that enable nonviolent offenders to reenter the workforce faster and reduce the financial strain on Oklahoma's criminal justice system. Overly-punitive measures for drug users and other nonviolent offenders have given Oklahoma one of the nation's highest incarceration rates, contributing to workforce shortages, harming economic growth and overburdening taxpayers. A stronger focus on rehabilitation would reduce recidivism, lessen the burden on prisons and safety net programs and enable more ex-offenders to contribute meaningfully to Oklahoma's economy.

2017 Regional Legislative Agenda

- **Economic Incentives**

- Support tax credits, exemptions, and incentives that provide an economic return to the state of Oklahoma, maintain our competitiveness in business attraction and retention, and increase capital investment. Several programs proposed for review in the first year of the Oklahoma Incentive Evaluation Commission are critical to our state's competitiveness and should be protected, including:
 - a. Five Year Ad Valorem Exemption
 - b. Historic Rehabilitation Tax Credit
 - c. Aerospace Engineer Tax Credit
 - d. Aerospace Engineer Tax Credit – Tuition Reimbursement and Compensation Paid
 - e. Quality Events Program
 - f. Film Enhancement Rebate

- **Fund OCAST (Oklahoma Center for the Advancement of Science and Technology)**

- Maintain OCAST's annual budget at its Fiscal Year 2017 level. The state has lost more than \$600 million in potential public and private investment as a result of reduced funding for OCAST over the last five years. This funding assists Oklahoma in four vital areas: (1) research and development funding for businesses & universities, (2) two- and four-year college internship opportunities, (3) manufacturing support, and (4) early-stage funding for start-up businesses. This funding allows Oklahoma communities to attract and retain high-quality STEM businesses and critical college talent, which will encourage growth and expansion in these target industries.

- **Improved Business Climate for Oil and Gas Production**

- Oklahoma's combination of abundant energy resources and an entrepreneurial people has resulted in some of the lowest energy costs of any state in the nation. To preserve and maintain our position as a leading oil and gas producing state, and to protect the important economic impact of oil and gas production to all Oklahomans, we support efforts to open all geologic formations in Oklahoma to horizontal drilling. We support an Oklahoma energy policy that provides a clear regulatory environment and oppose unnecessary and burdensome regulations.

- **Municipal Funding Diversification**

- Support legislation to preserve and diversify sources of revenue available to municipalities and reduce the volatility associated with a single source for revenue. Key initiatives include diversifying revenue for funding public safety agencies, streets, and other infrastructure improvements; and preserving and strengthening cities' authority to promote economic development activities within their borders.

- **Self-Determination in Facility Firearm Policies**

- While acknowledging the rights granted by the Second Amendment, protect the current law giving venue owners, event operators, and recreational facilities the authority to control firearm policies on property they manage. Removing this control would endanger Oklahoma's ability to attract events that bring thousands of visitors and millions of dollars into our economy each year. Many events—especially in youth and collegiate sports—have non-negotiable firearm policies and removing the controls under current law would limit facility operators' ability to ensure the safety of their events, increase the cost of providing security, and could subject them to additional liability.

2017 Regional Legislative Agenda

A vertical red arrow pointing downwards, located to the left of the first bullet point.

- **Support Regional Air Quality Efforts**

- Support and fund regional air quality efforts to avoid federal non-attainment designation and the economic hardship this would create for our region. Tulsa area ozone levels have periodically approached the current EPA standard, and an even tighter standard is anticipated. Continued support for common-sense strategies like the Ozone Advance Program and the development of a local air shed model is critical to assure the most appropriate and cost-effective reduction strategies, and all efforts toward air quality improvement initiatives—both private and public, voluntary and enforceable—should be made as soon as possible. In addition, continued support to increase public CNG fueling infrastructure will help decrease the current level of vehicle emissions, while aligning with the Oklahoma First Energy Plan.

2017 Regional Legislative Agenda

Federal Priorities

EDUCATED AND HEALTHY WORKFORCE

- **Graduate Medical Education**
 - Through long-term funding authorization, fully fund existing HRSA Teaching Health Center programs at \$150,000 per resident and allocate additional resources to double the number of funded THC residency positions nationwide. This will allow for training more homegrown physicians, strengthening the most effective tool for improving Oklahoma's physician shortage.
- **HEA Reauthorization**
 - Support the reauthorization of the Higher Education Act (HEA) and fully fund federal mandates.
- **Long-term Insure Oklahoma waiver reauthorization**
 - Encourage flexibility in negotiations to grant a long-term reauthorization of Oklahoma's Section 1115 waiver for Insure Oklahoma. Uncertainty in the long-term future of Insure Oklahoma has hurt enrollment and resulted in the exclusion of thousands of Oklahomans who would be eligible for coverage even under current requirements.
- **Mental Health Reform**
 - Support large-scale reform of the national mental health system that elevates the national priority for mental health issues. This includes increasing funding for evidence-based strategies and services; incentivizing assisted outpatient treatment; permitting integration of mental health and substance treatment records with medical records; ensuring complete enactment of the mental health parity law in Medicaid and Medicare; and enhancing behavioral health workforce training.

BUILDING INFRASTRUCTURE CRITICAL TO BUSINESS

- **Arkansas River Corridor Development**
 - Support efforts to expedite the implementation of the Arkansas River Corridor Project for river infrastructure improvements. Allow federal match credit to be accrued for state and local expenditures in order to advance construction activity while preserving the Tulsa region's access to future federal funding for this federally authorized project.
- **McClellan-Kerr Arkansas River Navigation System**
 - Increase Congressional appropriations to address the approximate \$180 million in maintenance backlog of MKARNS—50% of which are deemed critical—potentially leading to a shutdown of the waterway over the next 5 years, and the White River Entrance Channel Cut-off problem caused by the tendency of the White and Arkansas Rivers to merge together. Provide the necessary appropriations to deepen the MKARNS to its 12 foot authorized depth, thereby increasing barge productivity by 30%.

2017 Regional Legislative Agenda

- **Tulsa's Levee System**

- Support addressing the critical infrastructure needs with Tulsa's aging levee system, which the Corps of Engineers has designated as one of the 5% highest-risk levee systems in the country. If one fails, it would be catastrophic for homeowners, two nationally strategic oil refineries, and multiple industries currently protected by levee system, and have devastating environmental impacts for our region.

ENSURING A PROSPEROUS ECONOMY

- **Accelerate Permitting of Energy Projects**

- Support efforts to accelerate federal permitting for projects necessary to achieve domestic energy independence. Legislative and Administrative efforts should focus on ensuring concurrent permitting for all federally required approvals, approval of the Keystone XL Pipeline, streamlining the process for FERC approval of Liquefied Natural Gas Terminals and interstate pipelines, and permitting of U.S. Petrochemical projects that make fertilizer, polyethylene and other natural gas derived products. These projects would create a boom in the U.S. domestic economy, support job creation, strengthen our trade balance, and increase product security and price stability on a global scale.

- **Collection of Online Sales/Use Taxes**

- Support passage of the Marketplace Fairness Act or other federal legislation which will ensure that the sales and use taxes already owed from online purchases are fairly and effectively reported, collected, and remitted.

- **Federal Historic Tax Credits**

- Maintain federal Historic Rehabilitation Tax Credits for the restoration of historic buildings. These credits have for 30 years been an important catalyst for incentivizing private investment to preserve our nation's historically-significant buildings and revitalize the historic cores of American cities. The existing 20-percent income tax credit for certified historic structures and 10 percent credit for certain non-certified historic structures should be preserved.

- **Federal Immigration Reform**

- Support comprehensive immigration reform that enables the U.S. to attract the best and brightest talent from around the world. Steps should be taken to secure borders and establish reasonable, affordable and efficient visa policies that empower American businesses to hire essential workers and remove barriers for top talent to work in the U.S. Immediate steps should be taken to address workforce shortages in specialty and technology occupations, including increasing the cap on H-1B visas; and improving H-1B fairness for small and medium employers by lowering application fees and eliminating the lottery-selection process in favor of a needs-based system. Oppose further state legislation related to immigration reform.

- **Position Tulsa for F-35 Operations**

- Support the Tulsa Air National Guard Base in positioning the 138th Fighter Wing for selection as an operating location for the next generation fighter aircraft, the F-35 Lightning II. With an economic impact of more than \$530 million to the community, the base supports more than 1,200 citizen soldiers and plays a key role in the defense of this nation and the continued vibrancy of the Tulsa region's economy. The Tulsa basing of the F-35 could increase base employment by another five percent.

2017 Regional Legislative Agenda

Restraint in Labor Regulation Changes:

- Moderate changes in labor regulations to ensure fairness for both employer and employee and minimize harmful effects on job creation. Recent rulings and interpretations by the Department of Labor and NLRB targeting overtime pay, independent contractors and joint employment status will reduce employers' hiring capacities; disproportionately harm small businesses, the hospitality industry and the nonprofit sector; increase legal liabilities; and threaten business models that have worked for decades, such as franchising and the legitimate use of independent contractors. These changes represent drastic departures from previous norms and should be reversed, pared down or implemented more gradually while protecting existing business models.

- **Restrict Federal Rulemaking Authority:**

- Encourage and support members of Congress to restrict federal rulemaking authority by requiring a standardized, comprehensive, and cumulative cost/benefit analysis of the total economic impact of rules, including the effect on jobs, electricity rates and reliability, gasoline prices, energy-intensive manufacturing, small businesses, housing market, power plant closures, agriculture, and state and local governments. The regulating entity should perform the cost/benefit analysis along a standard process which should then be reviewed by at least one independent agency.

- **Support Legislation Delaying the Implementation of the EPA 2015 Ozone Standard**

- The Tulsa region's challenges to avoid the economic burden of non-attainment have resulted in substantial ground-level ozone improvement over the past 25 years. However, even though continued air improvement is foreseeable, the implementation schedule for the EPA's 2015 ozone standard could cause non-attainment for Tulsa and many metropolitan areas across the nation. EPA regulatory implementation schedules are bound by an outdated law which no longer provides adequate time for air quality improvements to occur before overlapping regulation and non-attainment may occur. Undeniably, good air quality is fundamental to healthy communities and to economic development. However, EPA's untimely schedule for implementing the October 2015 ozone NAAQS may cause non-attainment status and the far-reaching economic burden we have long sought to avoid.



MEMORANDUM

DATE: OCTOBER 10, 2016

TO: HONORABLE MAYOR AND CITY COUNCIL

**RE: REQUEST FOR APPROVAL AND ACCEPTANCE - CONTRACT BID - SENIOR
CITIZEN ACTIVITIES BUILDING RENOVATIONS - CDBG PROJECT**

BACKGROUND

This item is for City Council consideration and action regarding the review of the attached Project Bid Tabulation itemizing the construction contract bids received September 26, 2016 involving seven (7) individual improvements proposed for the Senior Citizen Activities Building in Black Gold Park. The various projects consist of improvements to the facility related to both interior and exterior features that have been approved for partial funding through the 2016 Tulsa County Community Development Block Grant (CDBG) program managed by INCOG. The contract agreement approved between the City of Glenpool and Tulsa County October 10, 2016 is based on a total estimated project cost of \$80,000. The contract specifies a maximum of \$72,645.00 will be paid by the Block Grant Program and the balance of the project cost paid by the City as long as that amount equals or exceeds ten percent (10%) of the total project cost. Contract bid documents were prepared by City Staff, advertised, and publically bid accordingly. Bids for the project were received and publically read on Sept. 26th. The attached Project Bid Tabulation lists the Contractors that submitted bids and the total bid price from each responder. As noted, S & J Construction Specialists, LLC, headquartered in Sapulpa, is the low Bidder on the project with a total project bid price of \$79,798.00. The bid was submitted with the required Bid Bond covering 5% of the total bid amount. Should the Council approve and accept the bid from S & J Construction, the City's portion of the total project cost will be \$7,979.80 to be funded from the FY 2016/2017 annual budget – item 01-6-14-6275.

STAFF RECOMMENDATION

Staff recommends approval of the contract bid received from S & J Construction Specialists - including approval to enter into a construction contract agreement with this firm for a total amount not to exceed the contract bid price of \$79,798.00.

Attachments:

Project Bid Tabulation

Contract Bid – S & J Construction Specialists, LLC

Glenpool Senior Activities Center Black Gold Park

April 27, 2016

Existing Building Renovation & Upgrade Projects:

Description:

Estimated Cost:

1. Remove and replace four (4) existing central HVAC systems to include high efficiency (18 SEER) Trane brand air conditioning condensing units and high efficiency (96% AFUE) natural gas furnace and air handling units. **\$31,000**
2. Remove, dispose of, and replace all existing roofing and underlayment on entire building using 30# felt underlayment and Certanteed brand architectural style shingles having a lifetime warranty. Work to include new continuous roof ridge vent system. **\$15,250**
3. The removal and disposal of all existing VCT tile in the entire building
The replacement of existing tile in the kitchen, pantry, and east building entry with VCT tile of similar grade and weight. **\$6,250**
4. Remove and dispose of all existing carpeting in the entire building. Install approximately 350 SY of similar glue-down type commercial grade carpeting on all floor areas in the entire building except kitchen, pantry, east building entry, and bathroom areas. Work to include the removal and replacement of all base cove moldings. **\$8,500**
5. Install an interior video, two-camera, building security system with local and remote monitoring capability. **\$1,500**
6. Install a total building interior security system to include all building entry door and window contacts and all necessary interior motion detectors. System to include two interior control panels, audio alarm, and have remote monitoring capability. **\$500**
7. Remove and dispose of all interior doors throughout the building including the removal and disposal of all wood base and door trim molding. Install new interior door systems with Masonite brand, pre-hung, hollow core type, door systems including the replacement of all wood door and base moldings with like materials. All existing door operating hardware to be salvaged and re-installed on new doors. **\$17,000**

Total Estimated Cost: \$80,000



Bid Tabulation

Glenpool Senior Citizen Activity Building Improvement Project:

Bid Date: September 26, 2016

Contractors Requesting and Receiving Bid Packages:

- A. Voy Construction Company
- B. Wagon Construction Company
- C. S & J Construction Specialists, LLC
- D. Southeast Tulsa Construction, Inc.
- E. Axis Builders
- F. Turner Roofing
- G. Company AccuAir, Inc.

Contractors Attending Pre-Bid Meeting: September 19, 2016

- A. Axis Builders
- B. Voy Construction Company
- C. Southeast Tulsa Construction, Inc.
- D. Turner Roofing Company
- E. AccuAir, Inc.
- F. S & J Construction Specialists, LLC

Contractors Submitting Bids: September 26, 2016

Total Bid:

A. Southeast Tulsa Construction Inc.	\$142,178.26
B. Voy Construction Company	\$101,499.83
C. S & J Construction Specialists, LLC*	\$79,798.00*

*Selected low Bidder and Total Low Bid

BID PROPOSAL

The Contract Proposal of U+J Construction Specialists LLC (hereinafter called "Bidder"), organized and existing under the laws of the State of Oklahoma doing business as U+J Construction Specialists, LLC is hereby issued to the City of Glenpool, Oklahoma (hereinafter called "Owner"). This date: 9-26, 2016

In compliance with the Advertisement for Bids, Bidder hereby proposes to perform all WORK generally consisting of: Various remodel and retro-fit work elements associated with general building up-grades at the City of Glenpool Community and Senior Citizen Activities Building located at 95 West 145th Street in Black Gold Park, Glenpool, Oklahoma. The project includes the provision of all materials, equipment, and labor necessary to fully complete the renovation of certain existing building structural elements; mechanical and security systems; and building interior finish items in accordance with the Contract Documents, within the time set forth therein, and at the total price stated below:

Total Project Bid Price: (Projects No. 1 Thru No. 7)

*Lump Sum Total in Words: Seventy-nine thousand, seven hundred & ninety eight dollars + Zero cents

*Total Bid Price: \$ 79,798.00

By submission of this Bid, the Bidder certifies, that this Bid has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this Bid with any other Bidder or with any competitor.

The Bidder hereby agrees to commence WORK under this contract within ten (10) calendar days of the date to be specified in the NOTICE TO PROCEED and to fully complete the project within:

Ninety (90) consecutive calendar days from the date of the Notice-to-Proceed (BASE BID);

No Bidder may withdraw a Bid within 60 days after the actual opening thereof.

Bidder acknowledges receipt of the following ADDENDUM:

Bidder agrees to perform all the WORK described in the Contract Documents for the individual lump sums listed for each specified project and for the total lump sum of all projects as specified in the attached Bid Schedule and as stated above.

*Note: Bids shall not include sales or use tax or other similar taxes.

Bid Submitted By: (Bidder)

U + J Construction Specialists, LLC
Company Name

P.O. Box 2543

Wapulpa, OK
74067

Address & Contact Information

Company Representative:

Jennifer Rupert
Name (Signature)

Jennifer Rupert
Name (Print)

As: Manager
Title

Attest:

By: Shawne Hauer
Signature

As: Admin. Asst.
Title

BID SCHEDULE

2016 CDBG Grant Funded Construction, Repair, and Remodel Project City of Glenpool Public Senior Citizen Activities Building Black Gold Park

Date: August 23, 2016

Item No.	Work Description
----------	------------------

- | | |
|----|---|
| 1. | <p>Provide all materials, equipment, and labor necessary to remove, dispose of, and replace four (4) existing independently operated central HVAC systems. Such equipment system replacement shall include:</p> <ul style="list-style-type: none">• The installation of 16 SEER rated high efficiency Trane Brand (or approved equal) air conditioning condensing units.• The installation of Trane Brand (or approved equal) 96% AFUE high efficiency natural gas fired furnace and air handling units.• Said equipment replacement to include all required unit electrical service wiring and connections, refrigerant line connections, exhaust venting, supply and return ducting connections, and all necessary miscellaneous refrigerant line replacement as may be required by the manufacturer or due to inadequate existing pipe sizes, all thermostat and low voltage wiring replacement with digital controls, and the replacement of all air supply and return duct grills.• The relocation and reconfiguration of the existing mechanical closet currently located immediately south of the east building entry door. Said mechanical room to be relocated to an existing storage closet adjacent to the existing mechanical closet. Said relocation to include all necessary building frame modification, drywall repair, painting, ductwork refitting, electrical connections, and refrigerant line relocation. |
|----|---|

Lump Sum in Words: Twenty-Four thousand, three hundred
+ ninety five dollars + zero cents

Total Price This Item: \$ 24,395⁰⁰

- | | |
|----|---|
| 2. | <p>Provide all materials, equipment, and labor necessary to remove, dispose of, and replace all existing building roofing material in accordance with the following:</p> <ul style="list-style-type: none">• The roofing replacement shall include the installation of 30# weight asphaltic roofing felt underlayment having a minimum overlap of not less than 8".• The installation of a passive, continuous, roof ridge venting system.• The installation of Certainteed Brand (or approved equal) textured architectural styled asphaltic shingles – "Weathered Wood" in color, having a minimum weight of 340# per square, and having a written manufacturers limited lifetime warranty. |
|----|---|

Lump Sum in Words: Eighteen thousand, nine hundred +
eighty eight dollars + zero cents

Total Price This Item: \$ 18,988⁰⁰

3. Provide all materials, equipment, and labor to remove, dispose of, and replace all existing VCT floor tile throughout the entire building - except the men and women restrooms and the south and west unfinished storage rooms. The replacement of said floor covering shall consist of VCT and include the following:
- The re-tiled area shall only include the kitchen, kitchen storage pantry, and east building entry foyer.
 - The replacement vinyl tile shall be of similar grade and weight as the existing tile.
 - The color and style of the replacement tile shall be selected by the Owner prior to installation.

Lump Sum in Words: Two thousand, three hundred + ten
dollars + zero cents

Total Price This Item: \$ 2,310⁰⁰

4. Provide all materials, equipment, and labor to remove, dispose of, and replace all existing floor carpeting throughout the entire building. The replacement with new carpeting shall consist of and include the following:
- The floor areas to be re-carpeted shall include all areas of the building - excluding the kitchen, kitchen storage pantry, men and women restrooms, the east building entry foyer, and the south and west unfinished storage rooms.
 - The replacement carpet material shall be 'glue-down' type having a minimum weight of 15# per square yard.
 - The color and style of the replacement carpet shall be selected by the Owner prior to installation.

Lump Sum in Words: Ten thousand, two hundred + fifty
dollars + zero cents

Total Price This Item: \$ 10,250⁰⁰

5. Provide all materials, equipment, and labor to install an interior and exterior video surveillance monitoring system. Said surveillance system to include:
- A minimum of four interior and two all-weather exterior cameras.
 - Cameras shall be of such quality so as to provide high resolution, long distance, face recognition type imagery in all lighting conditions.
 - Local and remote monitoring capability.
 - All monitoring and recording equipment necessary for on-site monitoring with a minimum of thirty (30) days of recording time.

Lump Sum in Words: Three thousand, nine hundred +
five dollars + zero cents

Total Price This Item: \$ 3,905⁰⁰

6. Provide all materials, equipment, and labor to install a complete wireless type interior building security system. Said security system to include:
- Alarm contacts on all exterior building entry doors and windows.
 - All necessary motion detectors.

- Carbon monoxide detectors.
- Smoke alarms in both north and south public areas of the building.
- On-site audio alarm.
- Off-site monitoring capability.
- Control keypads installed at or near the east and north building entry doors.

Lump Sum in Words: One thousand, nine hundred +
fifty dollars + zero cents

Total Price This Item: \$ 1,950⁰⁰

7. Provide all materials, equipment, and labor to remove, dispose of, and replace interior doors, door jams, and base and casement mouldings throughout the building - except restroom doors, building entry doors, and interior glass atrium type door systems. Said removal and replacement shall also include:
- The removal and replacement of all wood base mouldings, door casement moulding around replacement door systems, and all window trim moldings.
 - The installation of new pre-hung door systems on all replacement door openings.
 - All replacement doors shall be pre-primed, raised panel, and solid core type.
 - All replacement doors, trim, casement, and widow moldings shall be primed and painted to match existing colors.
 - The size, style, materials, and colors used for this replacement project shall be approved by the Owner prior to installation.

Lump Sum in Words: Eighteen thousand dollars +
zero cents

Total Price This Item: \$ 18,000⁰⁰

Total Project Bid Price (Items 1 thru 7) in Words:

Seventy-nine thousand, seven hundred +
ninety-eight dollars + zero cents

Total Project Bid Price: \$ 79,798⁰⁰

BUSINESS RELATIONSHIPS AFFIDAVIT

STATE OF OKLAHOMA)
) ss.
COUNTY OF Tulsa)

Jennifer Rupert, of lawful age, being first duly sworn upon oath, states that (s)he is the agent authorized by the Bidder to submit the attached Bid. Affiant further states that the nature of any partnership, joint venture or other business relationship presently in effect or which existed within one (1) year prior to the date of this statement with the architect, or other party to the project is as follows:

N/A

Affiant further states that any such business relationship presently in effect or which existed within one (1) year prior to the date of this statement between any officer or director of the bidding company and any officer or director of the architectural or engineering firm or other party to the project is as follows:

N/A

Affiant further states that the names of all persons having any such business relationships and the positions they hold with their respective companies or firms are as follows:

N/A

(if none of the business relationships hereinabove mentioned exist, Affiant should so state.)

Jennifer Rupert
Affiant

Subscribed and sworn to before me this 26 day of Sept, 2016.

Shawna Hoover
Notary Public

My Commission Expires:

6-26-17

NOTE: This form is to be submitted with the Bid.

Shawna Hoover
Notary Public
State Of Oklahoma
Commission #13005884
Expires 6/26/2017

NON-COLLUSION AFFIDAVIT

STATE OF OKLAHOMA)
) ss.
COUNTY OF TULSA)

Jennifer Rupert, of lawful age,

being first duly sworn upon oath, states that he, or she, is the agent authorized by the Bidder to submit the attached Bid. Affiant further states that the Bidder has not been a party to any collusion among Bidders in restraint of freedom of competition by agreement to bid at a fixed price or to refrain from bidding or with any State official or employee as to quantity, quality, or price in the prospective contract or any other terms of said prospective contract or in any discussions between Bidders and any State official concerning exchange of money or other thing of value for special consideration in the letting of a contract.

Jennifer Rupert
Affiant

Subscribed and sworn to before me this 26 day of Sept., 2016.

Shawna Hoover
Notary Public

My Commission Expires:

6-26-17

NOTE: This form is to be submitted with the Bid

Shawna Hoover
Notary Public
State Of Oklahoma
Commission #13005884
Expires 6/26/2017

PAYROLL AFFIDAVIT

STATE OF OKLAHOMA)
) ss.
COUNTY OF TULSA)

Jennifer Rupert, of lawful age, being first
duly sworn upon oath, states that (s)he is the agent authorized by the Bidder to submit the
attached bid. Affiant further states that (s)he has submitted the required payroll information to
the Wage and Hour Division of the Employment Standards Administration of the United states
Department of Labor. Affiant further states that (s)he is in compliance with the requirements
of Title 40 O.S. 1981, §196.9a(b), as amended.

Jennifer Rupert
Affiant

Subscribed and sworn to before me this 26 day of Sept., 2016.

Shawna Hoover
Notary Public

My Commission Expires:

6-26-17

NOTE: This form is to be submitted with the bid.

Shawna Hoover
Notary Public
State Of Oklahoma
Commission #13005884
Expires 6/26/2017

OKLAHOMA SURETY COMPANY

P. O. Box 1409
TULSA, OKLAHOMA 74101

BID BOND

KNOW ALL MEN BY THESE PRESENTS: That We, S & J Construction Specialists, LLC

as Principal, and the **OKLAHOMA SURETY COMPANY**, a corporation organized and existing under the laws of the State of Ohio, and authorized to do business in the State of Oklahoma as Surety are held and firmly bound unto the City of Glenpool

as Oblige, in the amount of Five Percent (05%) of Amount Bid DOLLARS, lawful money of the United States of America, to the payment of which sum of money well and truly to be made, the said Principal and Surety bind themselves, and each of their heirs, executors, administrators, successors and assigns, jointly and severally, by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, that, if the Oblige shall make an award to the principal for:

Glenpool Senior Citizen, Renovation - Phase II

according to the terms of the proposal or bid made by the Principal therefor, and the Principal shall duly make and enter into a contract with the Oblige in accordance with the terms of said proposal or bid and award and shall give bond for the faithful performance thereof, with the **OKLAHOMA SURETY COMPANY** as Surety or with other Surety or Sureties approved by the Oblige; or if the Principal shall, in case of failure so to do, pay to the Oblige the damages which the Oblige may suffer by reason of such failure not exceeding the penalty of this bond, then this obligation shall be null and void; otherwise it shall be and remain in full force and effect.

Signed, sealed and dated this 26th day of September, 2016.

S & J Construction Specialists, LLC

Principal

Shawna Hoon
Witness

BY

Trigee Rupert

(Seal)

OKLAHOMA SURETY COMPANY

BY

Cindi L. Smith

(Seal)

Cindi L. Smith

Attorney-in-fact

OKLAHOMA SURETY COMPANY

1437 SOUTH BOULDER, SUITE 200 · TULSA, OKLAHOMA 74119 · 918-587-7221 · FAX 918-588-1253

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS: That the **OKLAHOMA SURETY COMPANY**, a corporation organized and existing under and by virtue of the laws of the State of Ohio, does hereby nominate, constitute and appoint the person or persons named below, each individually if more than one is named, its true and lawful attorney-in-fact, for it and in its name, place and stead to execute on behalf of the said Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof. **Vicky L. Courtney, Sandra L. Crain and Cindi L. Smith, all of TULSA, OK**

IN WITNESS WHEREOF, the **OKLAHOMA SURETY COMPANY** has caused these presents to be signed and attested by its appropriate officers and its corporate seal hereunto affixed this **11** day of **January**, 2016



ATTEST:

Sharon Hackl
SHARON HACKL Secretary

OKLAHOMA SURETY COMPANY

Todd Bazata
TODD BAZATA VICE PRESIDENT

On this **11** day of **January**, 2016 before me personally appeared **TODD BAZATA**, to me known, being duly sworn, deposes and says that s/he resides in Broken Arrow, Oklahoma, that s/he is a Vice President of **Oklahoma Surety Company**, the company described in and which executed the above instrument; that s/he knows the seal of the said Company; that the seal affixed to the said instrument is such corporate seal; that it was so affixed by authority of her/his office under the By-Laws of said Company, and that s/he signed his name thereto by like authority.

STATE OF OKLAHOMA }
COUNTY OF TULSA } SS



Commission # **11008253**

My Commission expires: **09-08-19**

Julie Callahan
JULIE CALLAHAN Notary Public

This Power of Attorney is granted by authority of the following resolutions adopted by the Board of Directors of **Oklahoma Surety Company** by unanimous written consent dated September 25, 2009.

RESOLVED: That the President, the Executive Vice President, the several Senior Vice Presidents and Vice Presidents or any one of them, be and hereby is authorized, from time to time, to appoint one or more Attorneys-in-Fact to execute on behalf of the Company, as surety, any and all bonds, undertakings and contracts of suretyship, or other written obligations in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke any such appointment at any time.

RESOLVED FURTHER: That the Company seal and the signature of any of the aforesaid officers and any Secretary or Assistant Secretary of the Company may be affixed by facsimile to any power of attorney or certificate of either given for the execution of any bond, undertaking, contract of suretyship, or other written obligation in the nature thereof, such signature and seal when so used being hereby adopted by the Company as the original signature of such officer and the original seal of the Company, to be valid and binding upon the Company with the same force and effect as though manually affixed.

CERTIFICATION

I, SHARON HACKL, Secretary of **Oklahoma Surety Company**, do hereby certify that the foregoing Power of Attorney and the Resolutions of the Board of Directors of September 25, 2009 have not been revoked and are now in full force and effect.

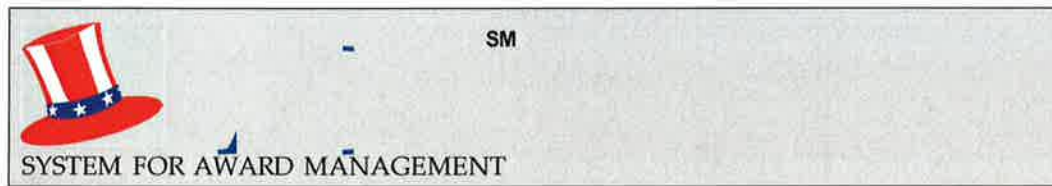
Signed and sealed this 26th day of September, 2016



Sharon Hackl
SHARON HACKL Secretary

VOID IF BOX IS EMPTY

your entity's registration in SAM.



SAM System Registration Certification

I hereby certify that D & J Construction Specialists, LLC is/has
(Company name)

☒ Currently in the SAM.gov. system

☐ Completed registration in SAM.gov system (attach e-mail registration verification)

Signed Quinn B. Burt, Manager
(Name and Title)

Date 9/26/14



jennifer rupert <jenrupert1@gmail.com>

Registration Activated for S&J CONSTRUCTION SPECIALISTS, L.L.C. / 043055978 / 6D7E4

1 message

samadmin@sam.gov <samadmin@sam.gov>

To: jenrupert1@gmail.com

Cc: jenrupert1@gmail.com

Mon, Feb 29, 2016 at 11:48 AM

This email was sent by an automated administrator. Please do not reply to this message.

Dear Seth Rupert,

Congratulations! The registration for S&J CONSTRUCTION SPECIALISTS, L.L.C. / 043055978 / 6D7E4 is now active in the U.S. federal government's System for Award Management (SAM). If you did not provide a CAGE code during the registration process, one has been assigned and is provided above.

You are now eligible for contracts, assistance awards, and to do business with the federal government as determined by your Entity's profile. Important: The Periodic Update Requirement Date for the registration is 28-FEB-17. You must renew the registration by this date to remain active.

In addition, you may continue to invite additional users by following the below steps:

- * Login to SAM using a valid Username and Password
- * Select "Manage Entity Users" from the left-hand navigation menu
- * Select "Invite User" from the left-hand navigation menu
- * Select the desired Entity
- * Provide invitee's email address
- * Assign Role(s) to be associated with the user account
- * Click Submit

All invitees will receive an email message from SAM with instructions on how to complete the process.

For assistance, please contact the Federal Service Desk at www.fsd.gov or by telephone at 866-606-8220 (toll free) or at 334-206-7828 (internationally).

Thank you,

The System for Award Management (SAM) Administrator
\${EMAIL_URL_TO_SAM_HOMEPAGE}



jennifer rupert <jenrupert1@gmail.com>

Registration Complete for S&J CONSTRUCTION SPECIALISTS, L.L.C. / 043055978 / 6D7E4

1 message

notification@sam.gov <notification@sam.gov>

To: jenrupert1@gmail.com

Mon, Feb 29, 2016 at 11:13 AM

This email was sent by an automated administrator. Please do not reply to this message.

Dear Seth Rupert,

Congratulations! You have successfully completed the registration process for S&J CONSTRUCTION SPECIALISTS, L.L.C. / 043055978 / 6D7E4 in the U.S. federal government's System for Award Management (SAM).

What happens next?

Your SAM registration will go through an external validation process with the Internal Revenue Service (if applicable) and the Defense Logistics Agency's Commercial and Government Entity (CAGE) Code system.

You will receive another e-mail from SAM.gov once your IRS and/or CAGE validations are complete, which can take up to 10 business days. Until then, you will not be eligible for contracts, assistance awards, or to do business with the Federal government, as determined by your Entity's profile.

Please note:

- If your registration fails the IRS validation step, you will receive an email from SAM.gov with information on next steps needed from you to complete validation.
- If you receive a supplemental email from an "@dla.mil" address regarding issues with your entity and CAGE Code, be sure to follow their instructions critical to passing CAGE validation. CAGE will contact your entity's Government Business Point of Contact as listed in your registration.

Checking the Status of your SAM Registration

You may check on the status of your registration at any time by logging into www.sam.gov and clicking on your Entity Record page. In addition, be sure to check your spam email folder for any communications from SAM, IRS and/or DLA related to your entity's registration. Remember CAGE will contact your Government Business POC and not your SAM Entity Administrator.

Additional questions?

If you have not received another email from SAM.gov and it has been more than 10 business days, you may contact the Federal Service Desk (FSD):

- Submit a question FSD explaining your issue and an agent will respond by email, during normal business hours - Monday through Friday, 8 a.m. to 8 p.m. ET.
- Phone toll-free: U.S. callers, 866-606-8220; international callers, 334-206-7828; U.S. military, via DSN: 866-606-8220.

Thank you,

The System for Award Management (SAM) Administrator

<https://www.sam.gov/portal/public/SAM>

OTHER RELEVANT INFORMATION related to your registration:

What is a CAGE Code?

Learn more about CAGE Codes and how they are assigned here:

https://www.fsd.gov/app/answers/detail/a_id/186/kw/cage

What is CAGE validation?

When you submit your registration in SAM, it is forwarded to CAGE for additional review and validation. If the data you submitted passes all CAGE edits, the registration will be processed automatically and

registration, your registration will be stopped and placed into a manual review process. During the manual review, the CAGE office may need to receive clarification or valid documentation to support the data you entered into the SAM registration. If this is the case, the CAGE office will send an email to the Government Business Point of Contact requesting the needed information. It is important to reply to any emails sent to you by CAGE (coming from an "@dla.mil" e-mail address) within FIVE business days and supply the requested information or documentation. In most instances, if the vendor provides the required information, the CAGE office is able to process registrations that require manual review up to ten business days after receipt from SAM. If you are contacted and do not respond to the email within five business days, your registration will be rejected by the CAGE office and returned to SAM. You will have to access SAM and save/submit on each page of your registration to resubmit to CAGE for processing. Once your registration is active, you can view your CAGE Code on the web by searching the active registrations in SAM, as long as you have not opted out of public display, or by logging in to your account.

Tax Identification Number

The Tax Identification Number (TIN) is a nine-digit number which is either an Employer Identification Number (EIN) assigned by the Internal Revenue Service (IRS) (<http://www.irs.gov/businesses/small/article/0,,id=98350,00.html>), or a Social Security Number (SSN) assigned by the Social Security Administration (SSA) (<http://www.ssa.gov/replace/sscard.html>).

If you do not know your TIN, contact the IRS at 1-866-255-0654 (Option 4). If you operate as an individual sole proprietorship, you may use your SSN if you do not have an EIN, but you are strongly encouraged to apply for and use an EIN. If you are located outside of the U.S. and do not pay employees within the U.S., you are not required to provide a TIN. When entering your TIN on the web site, enter only the numbers; do not include the dashes (Example: 123456789 not 123-45-6789).



MEMORANDUM

TO: HONORABLE MAYOR and CITY COUNCIL

**FROM: LYNN BURROW, PE
COMMUNITY DEVELOPMENT DIRECTOR**

**RE: REVIEW AND APPROVAL - FINAL SITE & CONSTRUCTION PLANS
SOUTH COUNTY SOCCER COMPLEX**

DATE: OCTOBER 12, 2016

BACKGROUND

This item is for Council consideration and action regarding the review and approval of the final site plan and supporting construction documents covering the proposed Vision 2025 funded South County Soccer Complex. The attached site plan and site improvement construction documents illustrate the final layout of the facility and the various improvements to be constructed immediately west of the existing South County Recreation Center on South Peoria Avenue. As illustrated, the facility proposes the construction of two regulation tournament size playing fields that can be subdivided into a minimum of six (6) smaller fields as may be needed to support local soccer league uses. The fields are to be lighted, irrigated, and will be supported by the construction of a concession/restroom facility as detailed in the drawings. The improvement construction plans for this facility also include several areas of additional vehicle parking and access drives - including the extension and expansion of the existing Rec. Center parking lot needed to facilitate the increase in vehicle parking anticipated by this new use. The final site plan also includes an area reserved for the future construction of additional vehicle parking as may be needed to accommodate expanded soccer league use.

The project construction is to be bid such that the main elements of the project can be separated into individual components necessary for the basic project in order to stay within available Vision 2025 funding approved for this project (\$978,762.00). Depending on bid results, several of the 'non-basic' elements of the overall project may be required to be constructed at a later date as additional funding sources becomes available.

It should be noted that the Glenpool Zoning Code requires solid type visual screening (fencing) along the common property line with a residential development if the proposed parking lot is closer than 50' to the residential use. In this case, the new northerly parking lot will be within approximately 20' of the three residential lots closest to this proposed parking lot.

As noted on the site plan, the proposed method of screening for these three abutting residential lots is the use of planted landscape shrubbery in lieu of the 6' screening fence required by the Code. It should be noted that the shrubbery method of screening was requested by the affected property owners in Glen Abbey. However, this substitution required a formal application to, and approval by, the Glenpool Board of Adjustment. The resulting BOA application was heard and approved at the October 10th meeting.

It should also be noted that the final site plan and parking lot configurations are a result of several reviews by the Tulsa County Parks and Recreation Department Staff as well as City Staff. These reviews were an attempt to address concerns by both the County and City Staff over total parking count and vehicular flow into, from, and around the various parking lots – especially during soccer tournament events and the potential to disrupt normal Rec. Center operations. The illustrated parking layout configuration and signage is the result of input from the County Parks Department management and their local Rec. Center operations Staff.

Staff Recommendations:

Staff recommends Council approval of the attached site plan and the supporting construction documents covering the improvements being proposed for this facility. Staff also recommends Council authorization to proceed with the contract bidding process necessary for the proposed project improvements as well as the completion of the land lease agreement between the City and Tulsa County covering the grounds necessary to support the proposed use of, and improvements to, the property.

Attachments:

1. South County Soccer Complex Site Plan
2. Site Improvement Construction Documents

CITY OF GLENPOOL

SOUTH COUNTY RECREATION CENTER SOCCER COMPLEX

13800 S. PEORIA - GLENPOOL, OK 74033



ARCHITECT:
GS HELMS
+ ASSOCIATES
ph: 918.298.7257 | 424 e. main st.
wb: gshelms.com | jenks, ok 74037

CIVIL ENGINEERING CONSULTANT:
S&A
Sisemore Weisz & Associates, Inc.
6111 EAST 32nd PLACE
TULSA, OKLAHOMA 74135
C.A. NO. 2421
PHONE: (918) 965-3000
FAX: (918) 965-8666
EXP. DATE: 6/30/17

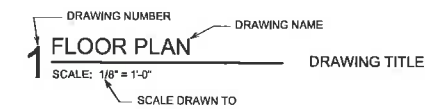
STRUCTURAL ENGINEERING CONSULTANT:
**RICHARDS &
ASSOCIATES, INC.**
424 EAST MAIN STREET JENKS, OK
405.627.9784 FAX 405.355.9399
CA #4408 EXP. DATE: 06-30-17

M.E.P. CONSULTANT:
AEG
ALLIED ENGINEERING GROUP, LLC
MECHANICAL-ELECTRICAL-PLUMBING-CONSULTANTS
1401 SOUTH DENVER STREET, SUITE A
TULSA, OK 74119
(918) 384-0593/FAX (918) 384-3186 AEG@AEGMEP.COM
CA 3478 EXPIRES: 06/30/17

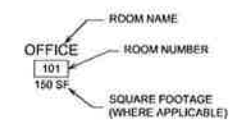
99% CONSTRUCTION DOCUMENTS

PROJECT:
CITY OF GLENPOOL
SOUTH COUNTY
RECREATION
SOCCER COMPLEX
ISSUE:
CONSTRUCTION DOCUMENTS
PROJECT NO.: 16-00400
ISSUE DATE: OCTOBER 12, 2016
SET NUMBER:
REVISION NO.:
REVISION DATE:

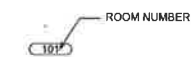
SYMBOLS LEGEND



NORTH ARROW



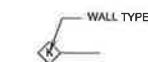
ROOM NAME & NUMBER



DOOR NUMBER



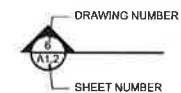
WINDOW TYPE



WALL TYPE



DETAIL MARKER



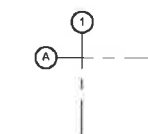
SECTION MARKER



ELEVATION MARKER



ELEVATION DATUM



FRAMING GRID

ABBREVIATIONS

A		F		N		U	
ACS	ACOUSTICAL CEILING SYSTEM	FD	FLOOR DRAIN	NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
ACP	ACCENT CARPET	FE	FIRE EXTINGUISHER	NMBR.	NUMBER	URNL	URNAL
A/C	AIR CONDITIONER	FEC	FIRE EXTINGUISHER CABINET	NO.	NUMBER		
ADJ.	ADJUSTABLE OR ADJACENT	FF	FACTORY FINISH	NOM.	NOMINAL	V	
AFF	ABOVE FINISHED FLOOR	FLR	FLOOR	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TILE
ALUM.	ALUMINUM	FP	FLAGPOLE			VERT.	VERTICAL
ANOD.	ANODIZED	FRP	FIBERGLASS REINFORCED PANEL	O		VET	VINYL ENHANCED TILE
APPROX.	APPROXIMATE	FT.	FEET	O.C.	ON CENTER	VWC	VINYL WALL COVERING
@	AT	FV	FIELD VERIFY	O.D.	OUTSIDE DIAMETER		
ATTEN.	ATTENUATION			OF CI	OWNER FURNISHED CONTRACTOR INSTALLED	W	
		G				WI	WITH
B		GA.	GAUGE	OF OI	OWNER FURNISHED OWNER INSTALLED	WCP	WALK-OFF CARPET
BD	BOARD	GAL.	GALLON	OPP.	OPPOSITE	WD	WOOD
BFF	BELOW FINISHED FLOOR	GALV.	GALVANIZED	P		WGB	WATER-RESISTANT GYPSUM WALLBOARD
BLDG	BUILDING	GB	GYPSUM WALL BOARD	PLAST.	PLASTIC	W/O	WITHOUT
BTM	BOTTOM	GR	GROUT	PWD.	PLYWOOD	WPP	WALL PROTECTION PANEL
		GWB	GYPSUM WALL BOARD	PR	PAIR		
C		GYP.	GYPSUM	PSF	POUNDS PER SQUARE FOOT	X	
C.J.	CONTROL JOINT			PSI	POUNDS PER SQUARE INCH		NOT USED
CG	CORNER GUARD	H		PT	PAINT		
CL	CENTER LINE	H/C	HANDICAP			Y	
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	HM	HOLLOW METAL	Q		YD	YARD
CLNG	CEILING	HORIZ.	HORIZONTAL		NOT USED		
CLR.	CLEAR	HR	HOUR			Z	
CMU	CONCRETE MASONRY UNIT			R			NOT USED
COLM.	COLUMN	I		R	RISERS		
CON.	CONCRETE	I.D.	INSIDE DIAMETER	RAD.	RADIUS		
CONT.	CONTINUOUS	IN.	INCH	RB	RESILIENT BASE		
COORD.	COORDINATE	INSUL.	INSULATION	RD	ROOF DRAIN		
CPT	CARPET	INTER.	INTERIOR	RE:	REFERENCE		
CT	CERAMIC TILE	J		REF	REFRIGERATOR		
		JCT.	JUNCTION	REQD	REQUIRED		
D		JNT.	JOINT	REV.	REVISION		
DF	DRINKING FOUNTAIN			RTU	ROOF TOP UNIT		
DIAM.	DIAMETER	K		S			
DN	DOWN	K.D.	KNOCK DOWN	SC	SEALED CONCRETE		
DR	DOOR			SECT.	SECTION		
DRWG	DRAWING	L		SF	SQUARE FEET		
		LAM.	LAMINATE	SIM.	SIMILAR		
E		LAV	LAVATORY	SPEC.	SPECIFICATION		
EA.	EACH	LF	LINEAL FEET	SQ.	SQUARE		
EIFS	EXTERIOR INSULATION & FINISH SYSTEM			SQ. FT.	SQUARE FEET		
E.J.	EXPANSION JOINT	M		SQ. IN.	SQUARE INCH		
ELEC.	ELECTRICAL	MASON.	MASONRY	SS	SANITARY SEWER / SERVICE SINK / SOLID SURFACE		
ELEV.	ELEVATION	MAT'L	MATERIAL				
EPF	EPOXY WALL FLOORING	MAX	MAXIMUM	T			
EPW	EPOXY WALL PAINT	MDF	MEDIUM DENSITY FIBERBOARD	T	TREADS		
EQ.	EQUAL	ME	MATCH EXISTING	TELE.	TELEPHONE		
EQUIV.	EQUIVALENT	MECH.	MECHANICAL	THK	THICK		
ETC.	ET CETERA	MFR	MANUFACTURER	THRU	THROUGH		
E.W.	EACH WAY	MIN.	MINIMUM	TOM	TOP OF MASONRY		
EX.	EXISTING	MISC.	MISCELLANEOUS	TOS	TOP OF STEEL		
EXP	EXPOSED STRUCTURE	MTL	METAL	TS	TRANSITION STRIP		
				TV	TELEVISION		
				TYP.	TYPICAL		

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR NECESSARY TO PERFORM WORK IDENTIFIED ON PLANS, UNLESS SPECIFICALLY NOTED OTHERWISE.
3. CONTRACTOR SHALL PROVIDE AND INSTALL ALL REQUIRED BLOCKING FOR SECURE INSTALLATION OF SURFACE MOUNTED EQUIPMENT, FIXTURES, CASEWORK, ETC. ALL BLOCKING SHALL BE FIRE RETARDANT.
4. ALL DIMENSIONS ARE TO THE FACE OF FINISHED WALLS OR TO THE CENTER-LINE OF WALLS, UNLESS SPECIFICALLY NOTED OTHERWISE. IF ADDITIONAL DIMENSIONS ARE REQUIRED, COORDINATE WITH ARCHITECT. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING DRAWINGS.
5. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL CONSTRUCTION DEBRIS.
6. CONTRACTOR SHALL PROVIDE NECESSARY TEMPORARY BRACING OF OPENINGS.
7. DURING WELDING OR ANY OTHER CONSTRUCTION ACTIVITY THAT GENERATES SPARKS OR INTENSE HEAT, THE CONTRACTOR SHALL PROVIDE ADEQUATE FIRE PROTECTION TO THE EXISTING STRUCTURE AND CONTENTS.
AS A MINIMUM:
 - REMOVE COMBUSTIBLE MATERIALS FROM AREAS OF WELDING AND SPARKS.
 - PROVIDE FIREPROOF BLANKETS AND SHIELDS TO CONTAIN SPARKS WHERE COMBUSTIBLE MATERIAL CAN NOT BE REMOVED.
 - PROVIDE A FIRE SAFETY OBSERVER WITH A FIRE EXTINGUISHER DURING WELDING OPERATIONS.

[illegible]

SEALS:



PROJECT NO.:	16-00400
FILE:	16-00400 G1-
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
DRAWN BY:	GSF
CHECKED BY:	GSF
APPROVED BY:	GSF

ARCHITECT:



ph: 918.298.7257 424 e. main st.
wb: gshelms.com jenkins, ok 74037

PROJECT TITLE:

CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

SYMBOLS LEGEND, ABBREVIATIONS, & GENERAL NOTES

SHEET NUMBER:

G1.1

GENERAL STRUCTURAL NOTES

GENERAL:

- A. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY IMMEDIATELY UPON DISCOVERY.
- B. SHOP DRAWINGS SHALL BE ORIGINAL DRAWINGS PREPARED BY CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR DISTRIBUTOR. REPRODUCTION OF THE CONTRACT DOCUMENTS AS ERECTION PLANS OR DETAILS WILL NOT BE PERMITTED.
- C. THE SIZE AND LOCATION OF ALL MECHANICAL EQUIPMENT, EQUIPMENT PADS, AND ALL DUCT AND PIPE OPENINGS THROUGH SLABS AND WALLS SHALL BE VERIFIED WITH MECHANICAL AND ELECTRICAL CONTRACTORS REQUIREMENTS PRIOR TO FABRICATION OF MATERIALS.
- D. SHOP DRAWINGS SHALL BE CHECKED BY THE GENERAL CONTRACTOR PRIOR TO BEING SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW

A. DESIGN CRITERIA:

1. DESIGN CODE - 2012 INTERNATIONAL BUILDING CODE AS AMENDED BY THE CITY OF TULSA AND ALL ADOPTED SUPPLEMENTS.
2. GRAVITY LOADS -
- | | |
|----------------|-------------------|
| LOCATION | UNIFORM LIVE LOAD |
| SLAB-ON-GRADE | 100 PSF |
| ROOF (MINIMUM) | 20 PSF |

ROOF LIVE LOAD IS NOT REDUCED. FLOOR LIVE LOADS ARE NOT REDUCED. SNOW LOAD IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE -

GROUND SNOW LOADPg = 10 PSF (JENKS, OK.)
FLAT ROOF SNOW LOADPf = 3.5 PSF (Pf = CelPg)
SNOW EXPOSURE FACTOR ...Ce = 0.7 (ALL OTHER STRUCTURES)
SNOW IMPORTANCE FACTOR ...I = 1.0 (ALL BLDGS, U.O.N.)

3. LATERAL LOADS:

- A. WIND LOAD IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE (ASCE 7-05) -

BASIC WIND SPEEDV = 120 MPH
WIND IMPORTANCE FACTORI = 1.00
WIND EXPOSUREC

- B. SEISMIC LOAD IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE (ASCE 7-05)-

PEAK VELOCITY RELATED ACCELERATION ...Av = 0.10
PEAK ACCELERATIONAa = 0.10
SEISMIC HAZARD EXPOSURE GROUPGROUP I

B. SOIL PREPARATION AND FOUNDATIONS:

4. SOIL SUPPORTED FOUNDATIONS -

- A. ASSUMED DESIGN BEARING PRESSURE (NET) IS 1500 PSF FOR FOUNDATIONS BEARING ON UNDISTURBED FIRM SOIL OR APPROVED ENGINEERED FILL MATERIAL.
- B. FOUNDATION REINFORCING SHALL BE SUPPORTED FROM ABOVE OR WITH 3" REINFORCEMENT SUPPORTING CHAIRS AT 4'-0" ON CENTER (MAX.) WHILE DEPOSITING CONCRETE IN FORMS.
- C. MOISTURE CONTENT IN FOOTING EXCAVATIONS SHALL BE MAINTAINED UNTIL FOOTING IS PLACED. FOOTINGS SHALL BE POURED AS SOON AS PRACTICAL AFTER EXCAVATIONS ARE COMPLETED.

C. CAST-IN-PLACE-CONCRETE:

1. ALL STRUCTURAL CONCRETE HAS BEEN DESIGNED IN ACCORDANCE WITH ACI 318-11 AND THE BUILDING CODE.

2. THE CONCRETE REQUIREMENTS ARE -

- A. 28 DAY CONCRETE COMPRESSIVE STRENGTHS, HARDROCK CONCRETE HAVING AIR DRY UNIT WEIGHT OF APPROXIMATELY 150 POUNDS PER CUBIC FOOT. -
- CONCRETE MIX SCHEDULE

LOCATION	MINIMUM F'c (PSI)	MAX. W/CSI RATIO	AGG. SIZE	SLUMP INCHES
FOUNDATIONS	3000	0.50	1 1/2"	5-7
INT. SLAB-ON-GRADE	3500	0.45	1"	4-6

- B. CONCRETE CLEAR COVER OVER REINFORCING SHALL BE IN ACCORDANCE WITH ACI 318_95, LISTED BELOW, UNLESS OTHERWISE NOTED -

LOCATION	CLEAR COVER (INCHES)
CAST AGAINST EARTH EXPOSED TO EARTH OR WEATHER #5 AND SMALLER	3
SLABS ON GRADE (COVER FROM TOP OF SLAB)	1 1/2

3. CONCRETE REINFORCING SHALL MEET THE FOLLOWING -

- A. REINFORCING BARS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615 GRADE 60. WELDING OF REINFORCING OTHER THAN SPECIFIED IS PROHIBITED.
- B. ALL REINFORCING SHALL BE CONTINUOUS. LAP ALL REINFORCING BARS WITH CLASS A SPLICES IN ACCORDANCE WITH ACI 318-02.
- C. PROVIDE CORNER BARS IN OUTSIDE FACE OF ALL CONTINUOUS FOOTINGS EQUAL IN SIZE AND SPACING TO MAIN HORIZONTAL REINFORCING EXTENDED A MINIMUM 45 BAR DIAMETERS.

4. CURING FOR CONCRETE SURFACES NOT IN CONTACT WITH FORMS, ONE OF THE FOLLOWING PROCEDURES SHALL BE APPLIED IMMEDIATELY AFTER COMPLETION OF PLACEMENT AND FINISHING -

- A. PONDING OR CONTINUOUS SPRINKLING.
- B. APPLICATION OF ABSORPTIVE MATS OR FABRIC KEPT CONTINUOUSLY WET.

D. STRUCTURAL STEEL:

9. STRUCTURAL STEEL HAS BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE AND AISC SPECIFICATIONS, NINTH EDITION.
10. STRUCTURAL STEEL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE NOTED ON THE DRAWINGS -

TYPE	ASTM	GRADE	FY MIN. (KSI)
STRUCTURAL SHAPES AND PLATES (TYP, U.O.N.)	A36		36
STRUCTURAL SHAPES AND PLATES	A572		50
PIPE	A53	B TYPE E	35
ANCHOR BOLTS	F1554	36	
STRUCTURAL BOLTS	A325		
STRUCTURAL TUBE (HSS SHAPES)	A500	B	46

3. STRUCTURAL STEEL CONNECTIONS -

- A. ALL CONNECTIONS NOT DETAILED OR OTHERWISE NOTED SHALL BE DESIGNED BY THE FABRICATOR. SHOP DRAWINGS SHALL BE SUBMITTED. DESIGN SHALL BE BASED ON BEARING TYPE BOLTED CONNECTIONS WITH BOLTS "SNUG TIGHT" PER AISC. WELDED TYPE CONNECTIONS SHALL BE APPROVED FOR USE PRIOR TO SUBMITTAL OF SHOP DRAWINGS.
- B. ALL WELDING SHALL BE IN ACCORDANCE WITH LATEST AWS CODE. ALL WELDS SHALL USE E70XX ELECTRODES.

- C. CONNECTION BOLTS SHOWN IN DRAWINGS ARE 3/4" DIAMETER A325 BEARING TYPE "N" UNLESS NOTED OTHERWISE.

4. STEEL FRAMING CONNECTIONS SHALL BE TIGHTENED AND COLUMNS SHALL BE LEVELED AND GROUTED IN PLACE BEFORE DECKING IS ATTACHED TO FRAMING.

5. NO HOLES SHALL BE CUT THRU STEEL BEAMS IN FIELD UNLESS APPROVED BY THE ENGINEER.

6. STEEL ROOF DECK SHALL BE 1 1/2" DEEP 22GA. INTERMEDIATE RIB METAL DECKING UNLESS NOTED OTHERWISE. DECKING SHALL HAVE A MAXIMUM YIELD STRENGTH OF 33KSI, A MINIMUM 1 OF 0.121 IN. 4 /FT., A MINIMUM Sp OF 0.112 IN. 4/3FT., AND A MINIMUM Sn OF 0.121 IN. 4/3FT.. DECKING SHALL RECEIVE A GALVANIZE FINISHED PER SPECIFICATION. DECKING SHALL BE CONTINUOUS OVER A MINIMUM OF THREE SUPPORTS. EACH DECK SHALL BE ATTACHED TO SUPPORTING MEMBERS AND ADJACENT PANELS AS FOLLOW.

	24" PANEL	36" PANELS
NUMBER OF END AND SUPPORT (PERPENDICULAR & PARALLEL) 1/2" DIA. PUDDLE WELDS	3	4
#10 TEK SCREWS SIDELAP CONNECTIONS EQUALLY SPACED BETWEEN SUPPORTS	12" O.C.	12" O.C.

E. STRUCTURAL WOOD:

1. ALL WOOD STRUCTURES HAVE BEEN DESIGNED IN ACCORDANCE WITH THE BUILDING CODE.

2. THE DESIGN OF THE STRUCTURE IS BASED UPON THE USE OF THE FOLLOWING PRODUCTS -

A. WOOD

LOCATION	WOOD TYPE	GRADE	Fb PSI	Fd PSI
JOISTS, BEAMS	SOUTHERN PINE	#2	1850	1850

ALL MEMBERS SHALL BE SURFACED DRY AND HAVE A MAXIMUM MOISTURE CONTENT OF 19 PERCENT. STRESS INCREASE SHALL BE 15% FOR LIVE LOAD ONLY.

- B. EXTERIOR WALL SHEATHING SHALL BE APA RATED PLYWOOD, EXPOSURE 1, OF THE THICKNESS SHOWN ON THE DRAWINGS. SHEATHING SHALL BE CONTINUOUS OVER A MINIMUM OF THREE SUPPORTS.

- C. ALL METAL CONNECTIONS SHALL USE SIMPSON "STRONG-TIE CONNECTORS" MANUFACTURED BY SIMPSON OF PLEASANTON, CA (925-460-9912) OR APPROVED EQUAL AT THE LOCATIONS INDICATED ON DRAWINGS. METAL CONNECTORS SHALL BE MADE FROM HOT-DIP, ZINC-COATED SHEET STEEL COMPLYING WITH ASTM A653/A G80 COATING DESIGNATION. ALL METAL CONNECTORS SHALL BE INSTALLED USING CONNECTOR MANUFACTURER'S SPECIFIED INSTRUCTIONS.

- D. ALL METAL NAILS AND FASTENERS SHALL BE PROVIDED WITH HOT-DIP ZINC COATING COMPLYING WITH ASTM A 153/ A 153M.

- E. SPECIAL PLYWOOD NAILS MAY BE SUBSTITUTED AS FOLLOWS -

10 GA. X 2" PLYWOOD NAILS FOR 8d COMMONS
9 GA. X 2 1/2" PLYWOOD NAILS FOR 10d COMMONS

3. PROVIDE BRIDGING AT 8'-0" MAXIMUM CENTERS FOR JOISTS AND RAFTERS USING 2X3 CROSS-BRIDGING OR SOLID BLOCKING.

4. WOOD HEADERS AND LINTELS SHALL BEAR ON TOP OF A STUD FOR OPENINGS LESS THAN 8'-0 AND BEAR ON TOP OF TWO STUDS FOR WIDER OPENINGS UNLESS NOTED OTHERWISE ON DRAWINGS.

5. ROOF DECKING SHALL BE 19/32" OR 5/8" APA RATED SHEATHING 40/20, EXPOSURE 1, MINIMUM 2 SPAN, STAGGERED 4' X 8' SHEETS WITH 10d COMMON NAILS AT 6" CENTERS AT ALL SHEET ENDS/ DISCONTINUOUS SIDES/BOUNDARIES AND 12" CENTERS MAXIMUM AT INTERMEDIATE FRAMING MEMBERS. USE PLYCLIPS AT MIDSPAN.

F. MASONRY:

1. ALL MASONRY HAS BEEN DESIGNED IN ACCORDANCE WITH ACI 530-92. DESIGN IS BASED IN ALL MASONRY RECEIVING FIELD INSPECTION.

2. CONCRETE MASONRY UNITS (CMU) MATERIALS SHALL BE -

- A. ALL CONCRETE MASONRY UNITS (CMU) SHALL BE TWO CELL NORMAL WEIGHT AGGREGATE UNITS WITH A SPECIFIED MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ON NET AREA AT 28 DAYS CONFORMING TO ASTM C90, TYPE I, GRADE N. CMU BELOW GRADE SHALL BE NORMAL WEIGHT AGGREGATE UNITS.

- B. ALL MORTAR SHALL BE TYPE "S" WITH A MINIMUM MORTAR COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS CONFORMING TO ASTM C270. THE MINIMUM COMPRESSIVE STRENGTH (fm) OF A PRISM ASSEMBLED OF CMU AND MORTAR SHALL BE 1350 PSI AT 28 DAYS ON THE NET AREA.

- C. GROUT SHALL CONFORM TO ASTM A476 WITH 3/8" AGGREGATE WITH THE FOLLOWING REQUIREMENTS -

LOCATION	MINIMUM F'c (PSI)	MINIMUM UNIT WEIGHT (PCF)
CMU GROUT	3000	150

- D. REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF ASTM A615 GRADE 60.

3. VERTICAL REINFORCING -

- A. PROVIDE VERTICAL REINFORCING (NORMAL REINFORCING) IN GROUT FILLED CELLS WITH BAR POSITIONERS IN ALL WALLS AS FOLLOWS UNLESS OTHERWISE NOTED -

WALL TYPE	REINF. IN CELLS	MAXIMUM SPACING
8" CMU (EXTERIOR)	1 - #5	24" O.C. (LOAD BEARING)
4" CMU (INTERIOR)	1 - #4	16" O.C. (NON LOAD BEARING)

THERE SHALL BE A DOWEL CAST INTEGRAL WITH THE SUPPORTING MEMBER FOR EACH VERTICAL REINFORCING BAR (NORMAL REINFORCING).

- B. PROVIDE AN ADDITIONAL VERTICAL REINFORCING BAR WITH DOWEL INTO SUPPORTING MEMBERS IN GROUT FILLED CELL. OF SAME SIZE AND LENGTH AS THE NORMAL REINFORCING BAR, AT THE FOLLOWING LOCATIONS -

1. EACH SIDE OF A CONTROL OR ISOLATION JOINT.
2. INTERSECTION OF EXTERIOR WALLS.
3. INTERSECTION OF INTERIOR SHEAR WALLS WITH EXTERIOR WALLS.
4. INTERSECTION OF INTERIOR WALLS.
5. EACH SIDE OF A WALL OPENING.
6. EACH END OF A WALL.
7. EACH BEAM BEARING LOCATION.

- C. VERTICAL REINFORCING SHALL EXTEND CONTINUOUSLY FROM THE TOP OF THE SUPPORTING MEMBER TO EMBED AT LEAST 6" INTO THE TOP COURSE.

4. HORIZONTAL WALL REINFORCING -

- A. PROVIDE GROUT FILLED BOND BEAM AT TOP OF WALL OR PARAPET, AT FLOOR LEVELS (ABOVE GRADE), AT TOP OF OPENINGS, BELOW OPENINGS, AT BEARING LOCATIONS, AND INTERMEDIATELY AT EVERY SIXTH COURSE (4 FT. O.C.). BOND BEAMS SHALL BE REINFORCED AS FOLLOWS -

WALL TYPE BOND BEAM REINF.

8" CMU 2 - #5
4" CMU 1 - #4

ALL INTERIOR WALLS SHALL HAVE INTERMEDIATE BOND BEAMS LOCATED AT THE SAME LEVELS AS EXTERIOR BOND BEAMS.

- B. PROVIDE BENT BARS AT ALL CORNERS.
- C. PROVIDE HORIZONTAL JOINT REINFORCEMENT AT 16" O.C.

5. REINFORCING SHALL MEET THE FOLLOWING LAP, SPLICE, AND EMBEDMENT REQUIREMENTS -

REINF. BAR SIZE	LAP OR SPLICE LENGTH IN WALL	DOWELS INTO SUPPORTING ELEMENTS EMBEDMENT W/ STRAIGHT STD. ACI HOOK EMBEDMENT
4	24"	8" 17"
5	25"	10" 21"
6	30"	12" 25"

FOUNDATION DOWELS SHALL EXTEND A LAP LENGTH INTO THE MASONRY WALL.

6. VERTICAL AND HORIZONTAL BARS AROUND PERIMETER OF OPENINGS SHALL EXTEND NOT LESS THAN 40 BAR DIAMETERS OR 24", WHICHEVER IS LARGER, BEYOND THE CORNER OF THE OPENING.

7. CELLS WHICH CONTAIN REINFORCING STEEL (VERTICAL CELLS, BOND BEAMS, LINTELS, AND PILASTERS) SHALL BE FILLED SOLIDLY WITH GROUT.

8. VERTICAL CELLS TO BE FILLED SHALL HAVE VERTICAL ALIGNMENT SUFFICIENT TO MAINTAIN A CLEAR UNOBSTRUCTED CONTINUOUS VERTICAL CELL NOT LESS THAN 2" X 3" IN PLAN DIMENSIONS.

9. LOCATION AND DETAILS OF CONTROL AND ISOLATION JOINTS IN REINFORCED MASONRY SHALL BE AS SHOWN ON THE STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS. THE MAXIMUM SPACING OF CONTROL OR ISOLATION JOINTS SHALL BE AT A LENGTH TO HEIGHT RATIO OF 4 TO 1 OR 60 FEET ON CENTER, WHICHEVER IS LESS. CONTRACTOR SHALL SUBMIT A JOINT LAYOUT PLAN FOR APPROVAL PRIOR TO CONSTRUCTION.

10. MASONRY UNITS IN CONTACT WITH SOIL SHALL HAVE VOIDS FILLED WITH GROUT.

GS HELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

#	CONSTRUCTION DRAWINGS	10.12.16
#	REVISION	DATE

SEALS:

PROJECT NO.:	16-00400
FILE:	16-00400 S1-0
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

ARCHITECT:

GS HELMS
+ ASSOCIATES

ph: 918.298.7257 424 e. main st.
wb: gshelms.com jenkins, ok 74037

STRUCTURAL ENGINEERING CONSULTANT:



RICHARDS & ASSOCIATES, INC.

424 EAST MAIN STREET JENKS, OK
405.627.9584 FAX 918.355.9309
C.A. #4458 EXP. DATE 06.30.17

PROJECT TITLE:

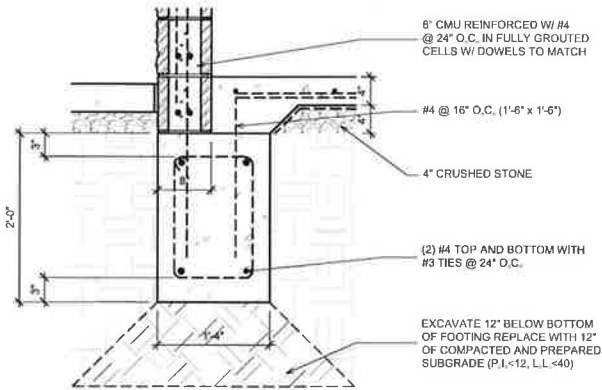
CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

GENERAL STRUCTURAL NOTES

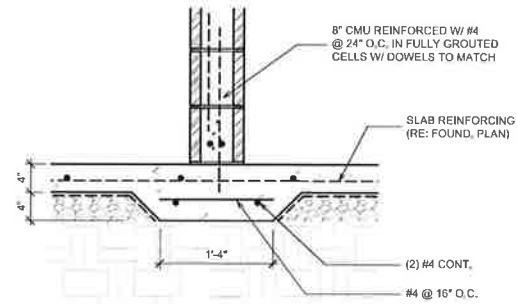
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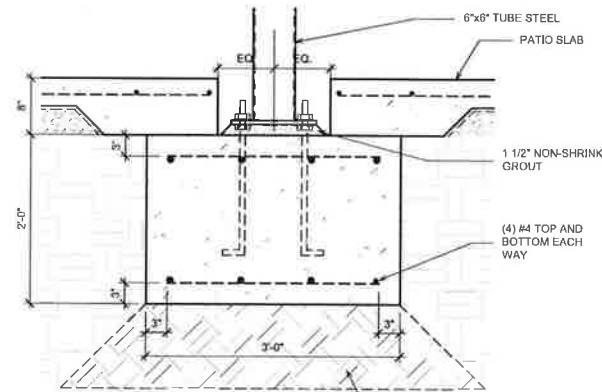
2 FOUNDATION DETAIL

SCALE: 1" = 1'-0"



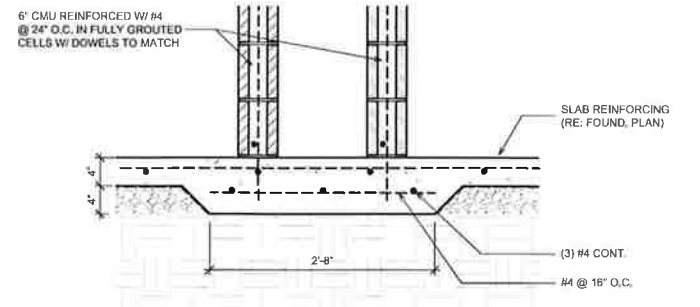
3 FOUNDATION DETAIL

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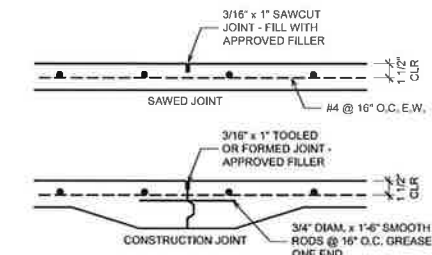
4 FOUNDATION DETAIL

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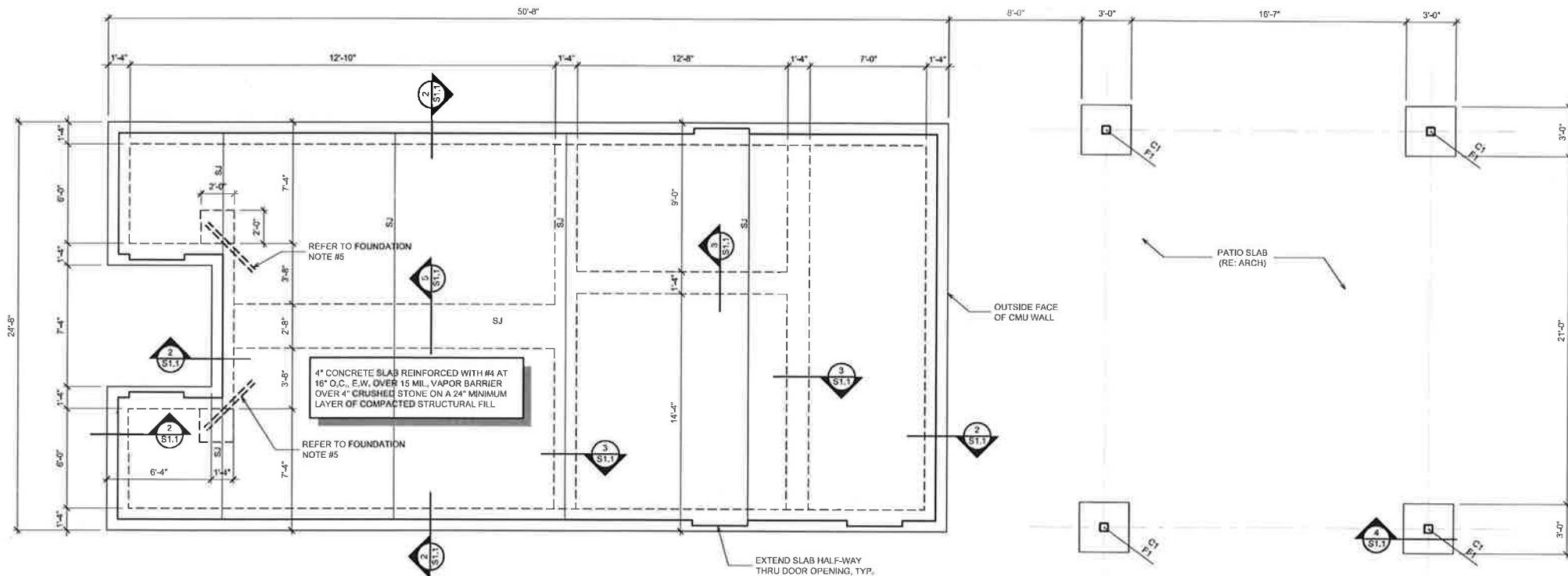
5 FOUNDATION DETAIL

SCALE: 1" = 1'-0"



6 CONCRETE JOINT DETAILS

SCALE: 3/4" = 1'-0"



1 FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

FOUNDATION & SLAB NOTES

1. SJ INDICATES LOCATIONS OF SAWED JOINTS IN SLAB.
2. CJ IS ABBREVIATION FOR FORMED CONSTRUCTION JOINT.
3. COORDINATE SLAB EDGE BLOCK-OUTS WITH DOOR LOCATIONS.
4. SAW CUTTING OF SLAB SHALL OCCUR WITHIN 12 HOURS AFTER SLAB PLACEMENT.
5. INDICATES 2- #4 X 4'-0" RE-ENTRY CORNER BARS IN SLAB WHERE SHOWN.

FOOTING SCHEDULE

MARK	SIZE (LxWxD)	REINFORCEMENT
F1	3'-0" x 3'-0" x 2'-0"	(4) - #5 EA. WAY, TOP AND BOTTOM

TOP OF EXTERIOR FOOTING ELEV. SHALL BE 8" BELOW FINISHED FLOOR ELEV.

COLUMN SCHEDULE

MARK	COLUMN SIZE	BASE PLATE SIZE
C1	HSS 6X5X5/16	3/4" x 10" x 10" W/ (4) 3/4" x 1'-6" ASTM F1554 ANCHOR RODS

REINFORCING LAP SCHEDULE

BAR SIZE	LAP	
	TOP	OTHER
#4	28"	22"
#5	34"	26"
#6	37"	29"

GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

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SEALS:	

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FILE:	16-00400 S1-1
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SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

ARCHITECT:

GS HELMS + ASSOCIATES

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wb: gshelms.com jenkins, ok 74037

STRUCTURAL ENGINEERING CONSULTANT:

RICHARDS & ASSOCIATES, INC.

424 EAST MAIN STREET JENKS, OK
405.627.9584 FAX 918.355.9309
C.A. #4458 TEXP. DATE: 06.30.17

PROJECT TITLE:

**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**

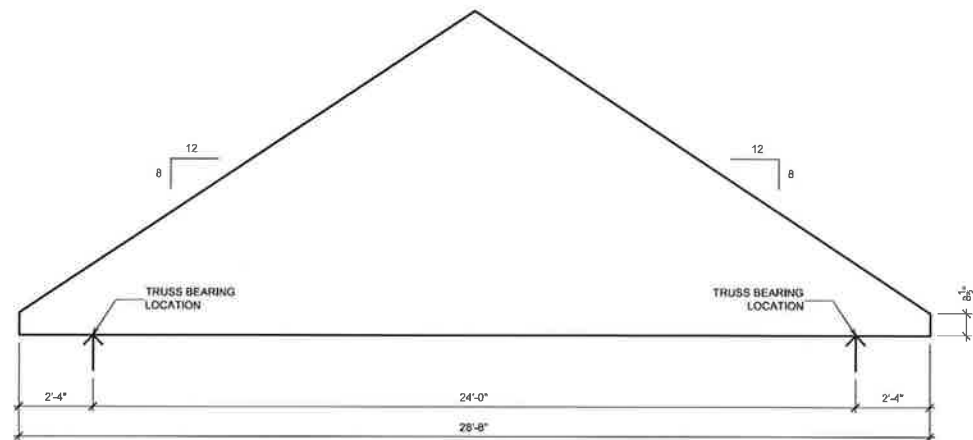
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

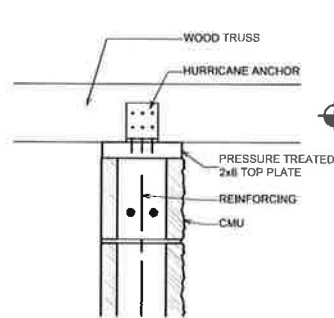
FOUNDATION PLAN AND DETAILS

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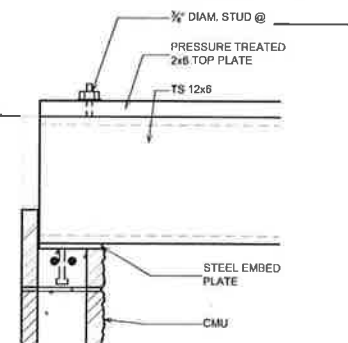
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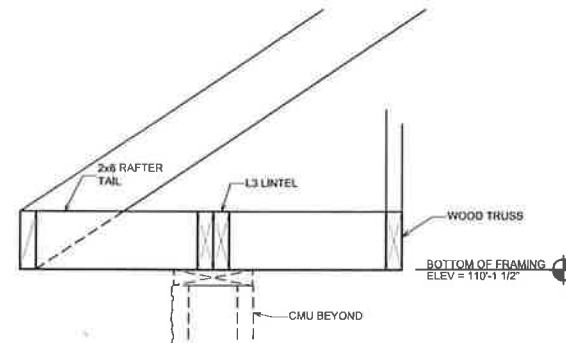
2 T1 TRUSS PROFILE
SCALE: 3/8" = 1'-0"



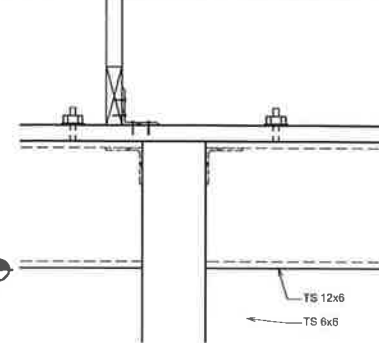
3 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



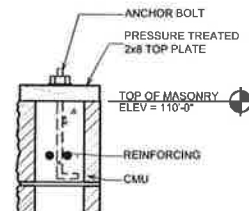
4 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



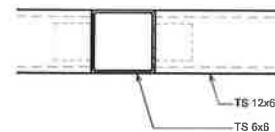
5 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



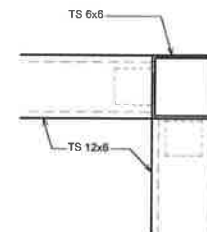
7 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



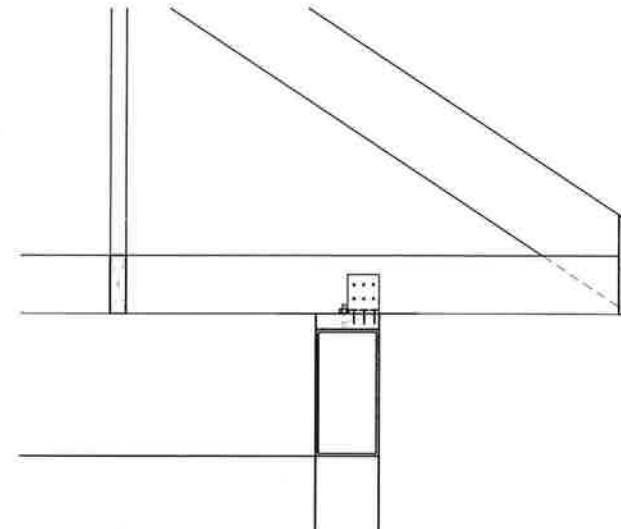
6 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



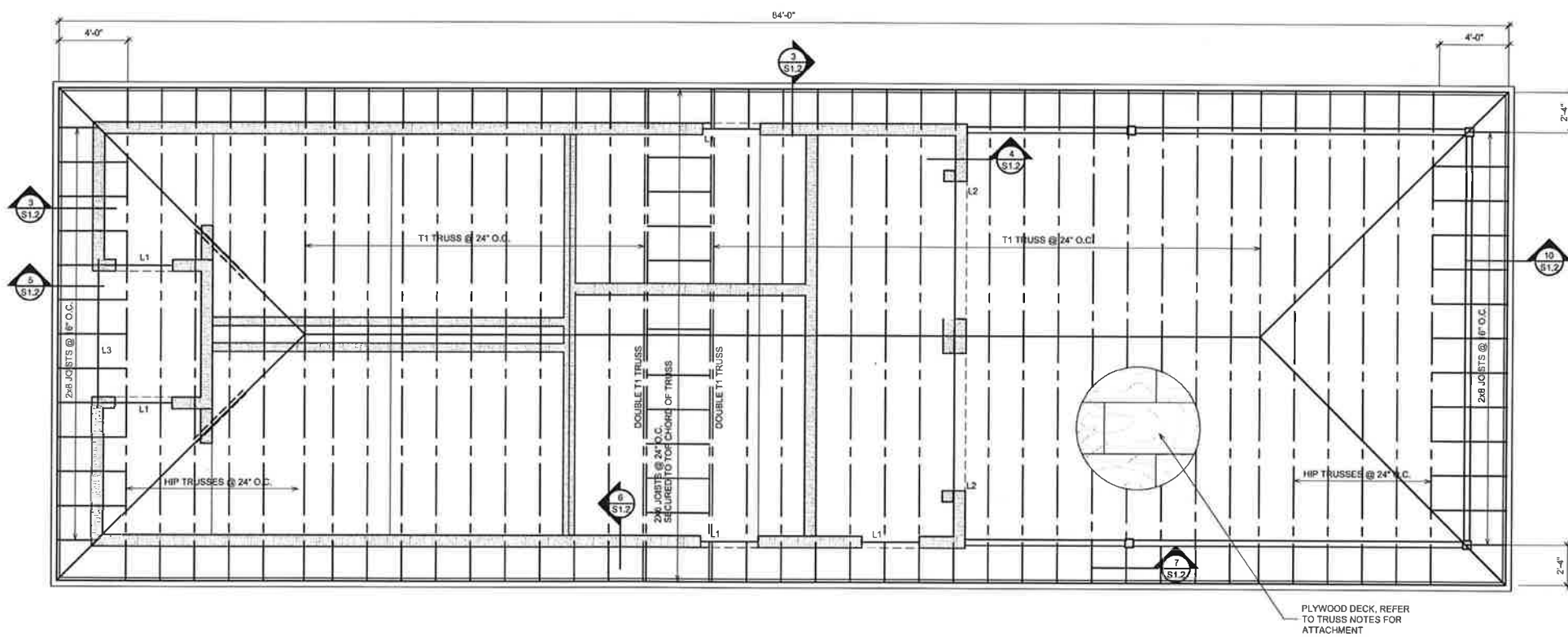
8 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



9 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



10 FRAMING DETAILS
SCALE: 1 1/2" = 1'-0"



1 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE:
PROVIDE 2x8 CROSS FRAMING BETWEEN
BOTTOM CHORDS OF DOUBLE TRUSSES.
BOX FRAME OPENING FOR ATTIC ACCESS
WITH DOUBLE 2x8s

- ### TRUSS NOTES
1. TRUSS MEMBERS- 2X6 MINIMUM; MAXIMUM TRUSS SPACING IS 2'-0".
 2. PREFABRICATED TRUSS MANUFACTURER SHALL FURNISH SHOP DRAWINGS ALONG WITH SUPPORTING CALCULATIONS SEALED BY A LICENSED STRUCTURAL ENGINEER OF THE STATE OF OKLAHOMA FOR REVIEW.
 3. DESIGN TRUSSES FOR THE LIVE LOADS AS STATED IN THE GENERAL NOTES PLUS A 20 PSF DEAD LOAD (TOP CHORD- 8 PSF AND BOTTOM CHORD - 12 PSF; TRUSS WEIGHT NOT INCLUDED). TRUSSES TO BE SPACED AT MAXIMUM 2'-0" CENTERS.
 4. TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR REVIEW. THE SHOP DRAWINGS SHALL INCLUDE PLACING PLANS OF ALL TRUSSES CLEARLY LABELED AND DETAILS OF TRUSS CONNECTIONS AND ANCHORAGES. DETAILS OF CONNECTORS USED AT JOINTS AND ENGINEERING DESIGN DATA. THE ENGINEERING DESIGN FOR EACH TYPE OF TRUSS SHALL INCLUDE: TRUSS LOCATION IDENTIFICATION, ALL LOADINGS AND REACTIONS, MEMBER STRESSES, JOINT CONNECTIONS, CONFIGURATION, TRUSS TO TRUSS CONNECTIONS, BRACING FOR LATERAL STABILITY OF THE COMPLETED FRAMING SYSTEM AND THE SEAL OF THE PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN OF THE TRUSSES SYSTEM.
 5. ALL PREFABRICATED WOOD TRUSSES SHALL BE ATTACHED TO BEARING PLATES WITH CONNECTORS DESIGNED AND PROVIDED BY THE TRUSS MANUFACTURER.
 6. ROOF DECKING SHALL BE 19/32" OR 5/8" APA RATED SHEATHING 40/20, EXPOSURE 1, MINIMUM 2 SPAN, STAGGERED 4'X8' SHEETS WITH 8d COMMON NAILS AT 6" CENTERS AT ALL SHEET ENDS / DISCONTINUOUS SIDES / BOUNDARIES AND 12" CENTERS MAXIMUM AT INTERMEDIATE FRAMING MEMBERS (IN FIELD). USE PLYCLIPS AT MIDSPAN.
 7. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC), 2015 ADDITION.

GSH/ELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

0	CONSTRUCTION DRAWINGS	10.12.16
1	REVISION	DATE

SEALS:

PROJECT NO.: 16-00400
FILE: 16-00400 S1-2
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SCALE: AS NOTED
DRAWN BY: GSH
CHECKED BY: GSH
APPROVED BY: GSH

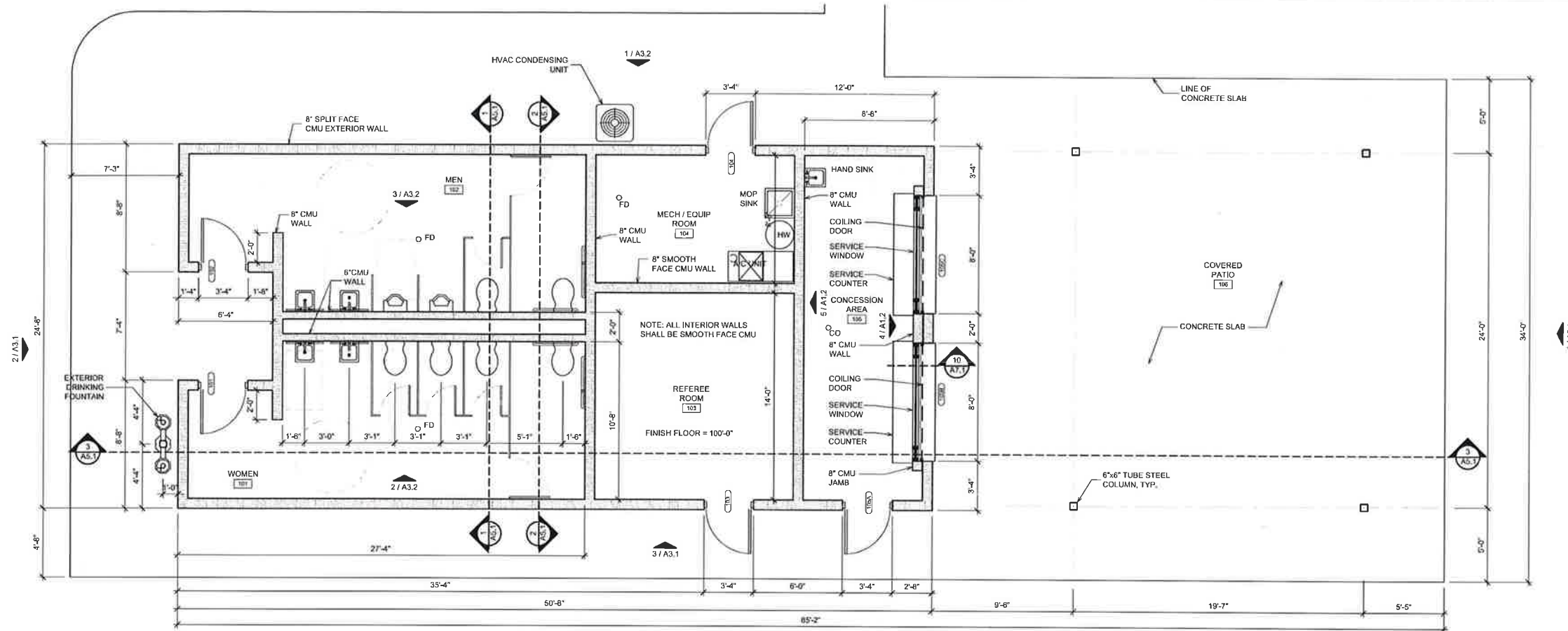
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wb: gshelms.com | jenkins, ok 74037

STRUCTURAL ENGINEERING CONSULTANT:
RICHARDS & ASSOCIATES, INC.
424 EAST MAIN STREET JENKS, OK
405.627.9584 FAX 918.353.0309
C.A. #4438 EXP. DATE: 06.30.17

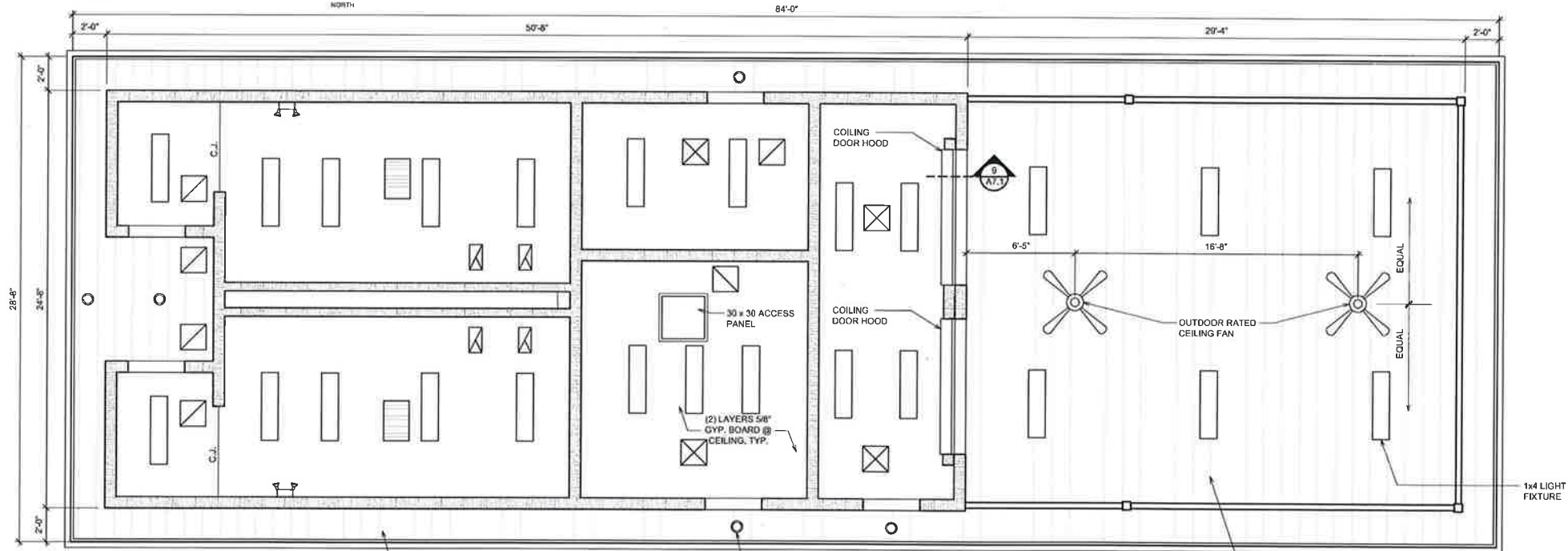
PROJECT TITLE:
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

PROJECT TITLE:
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
ROOF FRAMING PLAN & DETAILS

SHEET NUMBER:
S1.2



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

**REFLECTED
CEILING PLAN LEGEND**

- 1x4 FLUORESCENT LIGHT
- RETURN DIFFUSER
RE: MECH. FOR SIZES
- SUPPLY DIFFUSER
RE: MECH. FOR SIZES
- EXHAUST DIFFUSER
RE: MECH. FOR SIZES
- RECESSED CAN LIGHT
- CEILING FAN
OUTDOOR RATED
- GYP. BD. CEILING,
PAINTED
- EMERGENCY LIGHT
FIXTURE
- EXIT LIGHT
- CEILING MOUNTED
HEATER, REFER HVAC
DRAWINGS

NOTE:
PROVIDE 2x6 CROSS FRAMING BETWEEN
BOTTOM CHORDS OF DOUBLE TRUSSES.
BOX FRAME OPENING FOR ATTIC ACCESS
WITH DOUBLE 2x8s

GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

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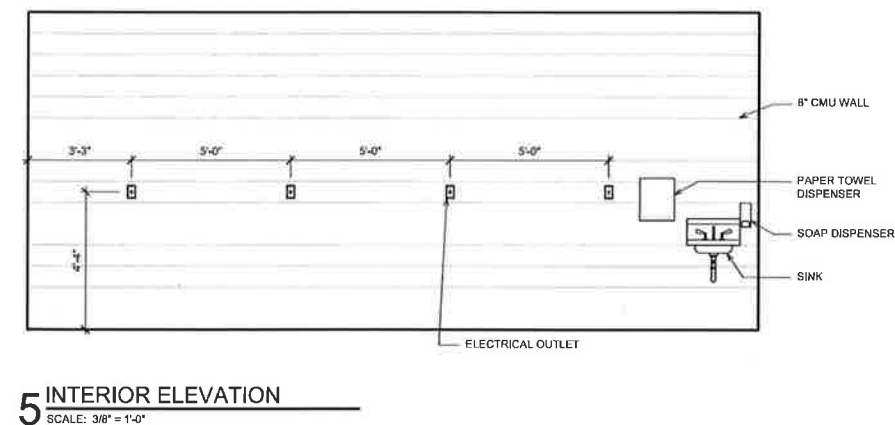
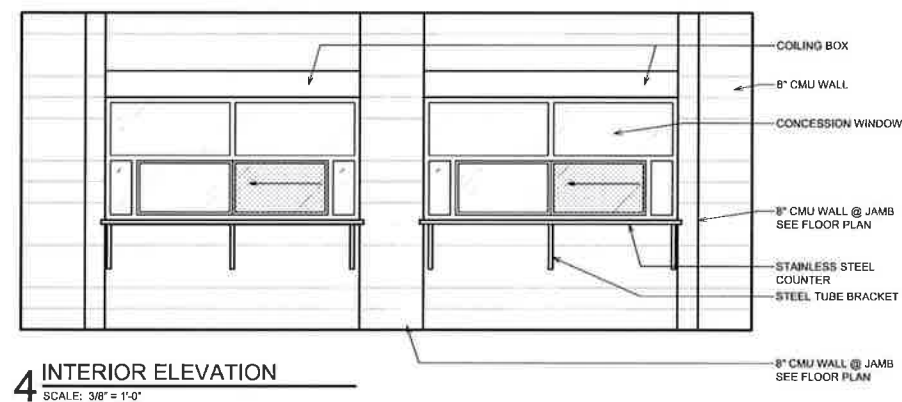
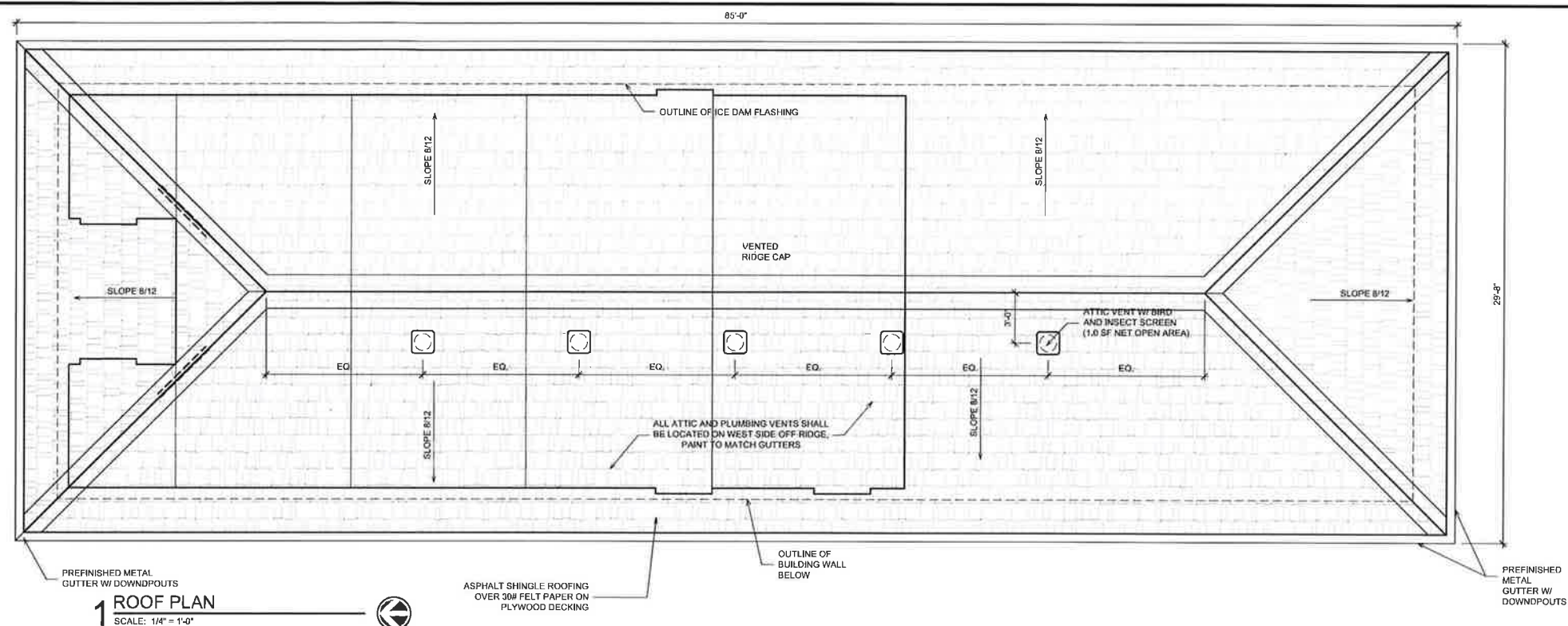


PROJECT NO.:	16-00400
FILE:	16-00400 A1-1
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
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APPROVED BY:	GSH

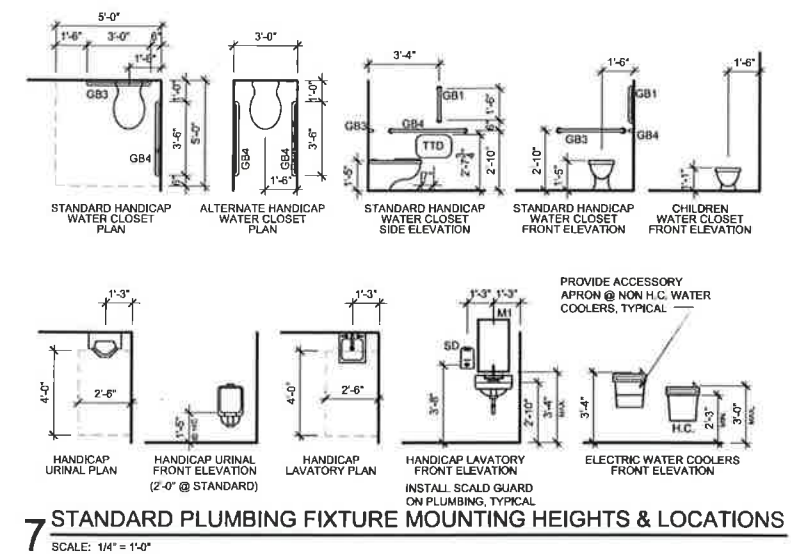
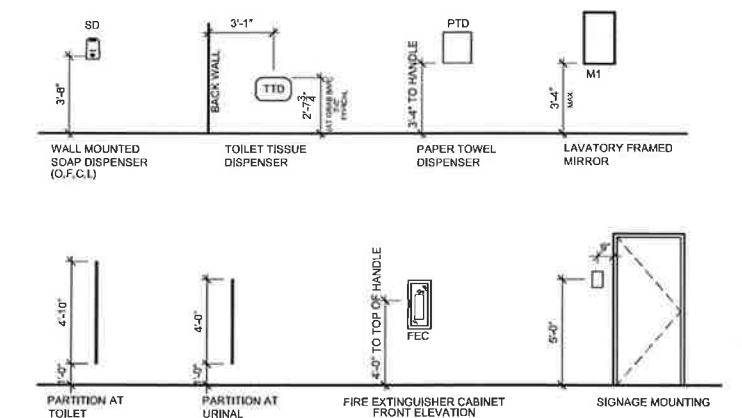
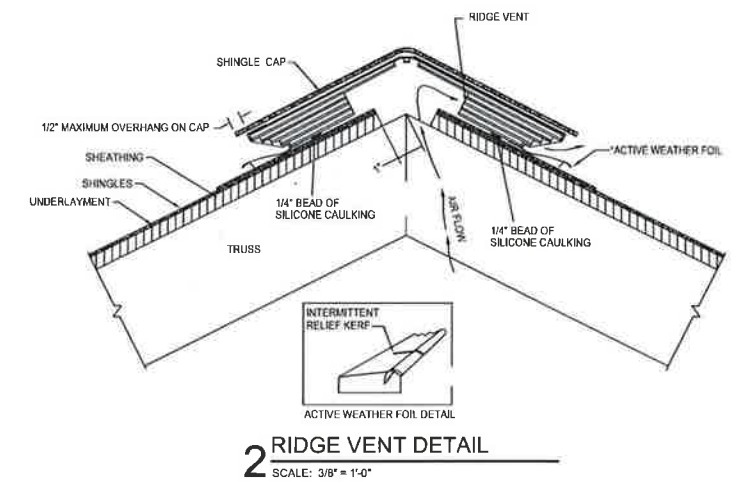
ARCHITECT:
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PROJECT TITLE: CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
SHEET TITLE: FLOOR & REFLECTED CEILING PLANS

SHEET NUMBER:
A1.1



SPECIALTIES SCHEDULE				NOTE: STUDENT DESKS, TABLES, CHAIRS, COMPUTERS, AND LIBRARY BOOK SHELVING ARE NOT IN THIS CONTRACT			
MARK	DESCRIPTION	MFGR.	MODEL NO.	(W X H X D) DIMENSIONS	MOUNTING	FINISH	(CFCI, U.N.C. REMARKS)
GB1	GRAB BAR 1 1/2" DIA.	BRADLEY	8120-001-18	18" VERTICAL	1 & 2/A9.1	S.S. W/ SATIN FINISH	
GB3	GRAB BAR 1 1/2" DIA.	BRADLEY	8120-001-36	36" HORIZONTAL	1 & 2/A9.1	S.S. W/ SATIN FINISH	
GB4	GRAB BAR 1 1/2" DIA.	BRADLEY	8120-001-42	42" HORIZONTAL	1 & 2/A9.1	S.S. W/ SATIN FINISH	
M1	MIRROR W/ ANGLE FRAME	BRADLEY	780-1830-2	18" x 30"	1 & 2/A9.1	S.S. W/ SATIN FINISH	
SD	SOAP DISPENSER	(O.F.C.I.)	=	=	1 & 2/A9.1		
PTD	PAPER TOWEL DISPENSER	RE: SPECIFICATIONS	=	16"W x 17.5"H x 10"D	1 & 2/A9.1	=	
TTD	TOILET TISSUE DISPENSER	RE: SPECIFICATIONS	=	20"W x 13"H	1 & 2/A9.1	CHROME	
FEC	FIRE EXTINGUISHER & CABINET	RE: SPECIFICATIONS				WHITE POWDER COAT	



ID	CONSTRUCTION DRAWINGS	10.12.16
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APPROVED BY:	GSH

ARCHITECT:

GS HELMS
+ ASSOCIATES

ph: 918.298.7257 424 e. main st.
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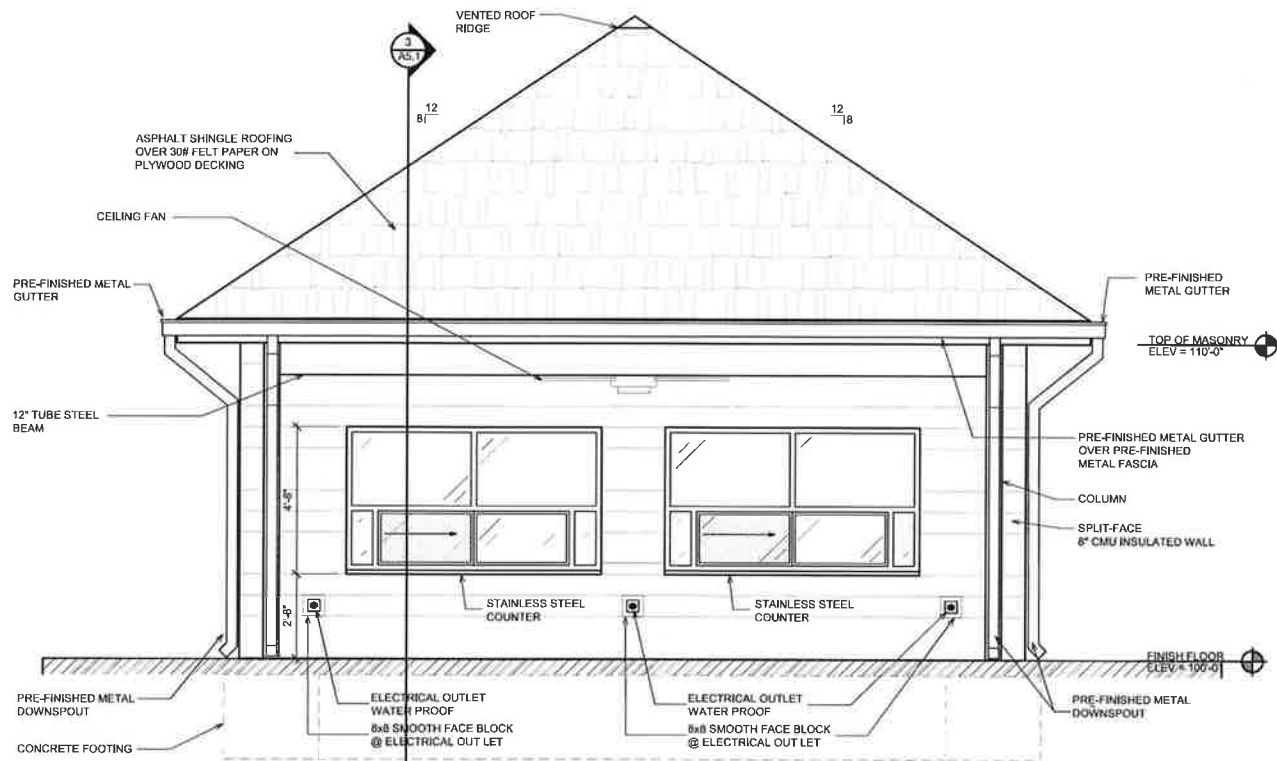
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

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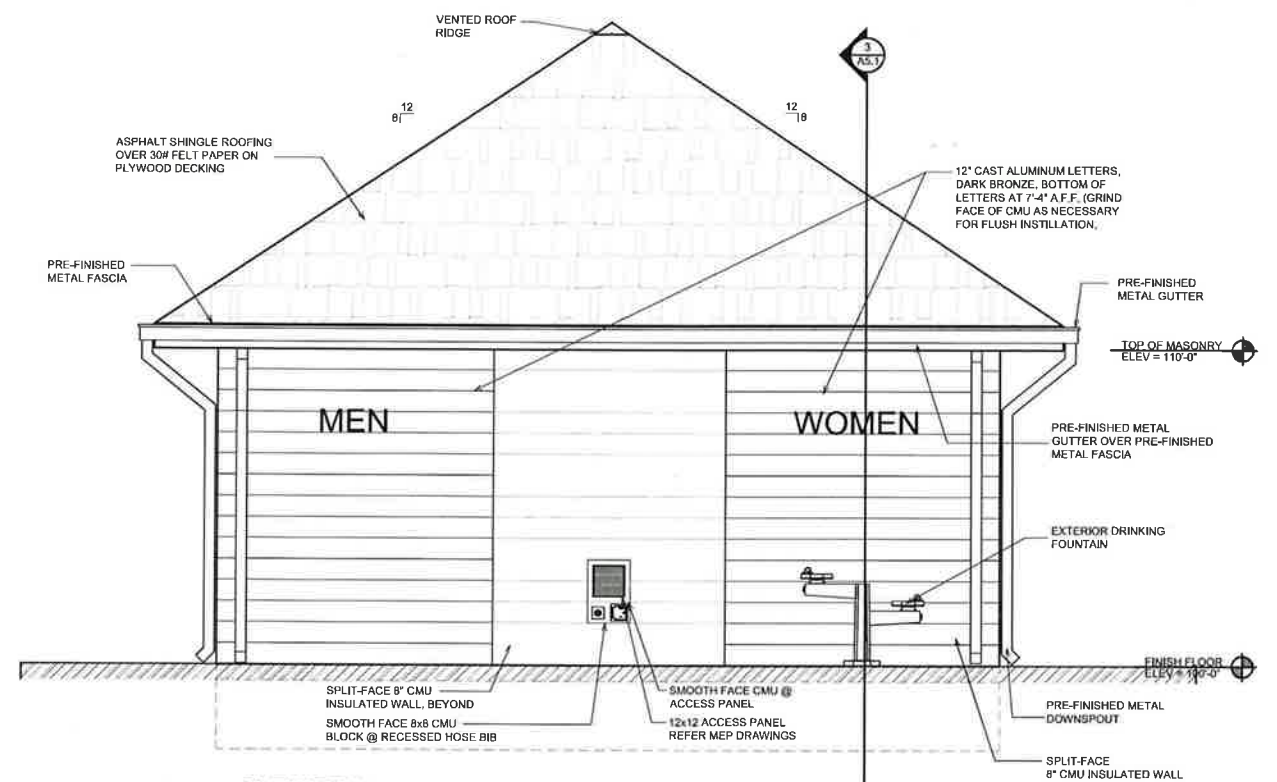
ROOF PLAN & ENLARGED DETAILS

SHEET NUMBER:

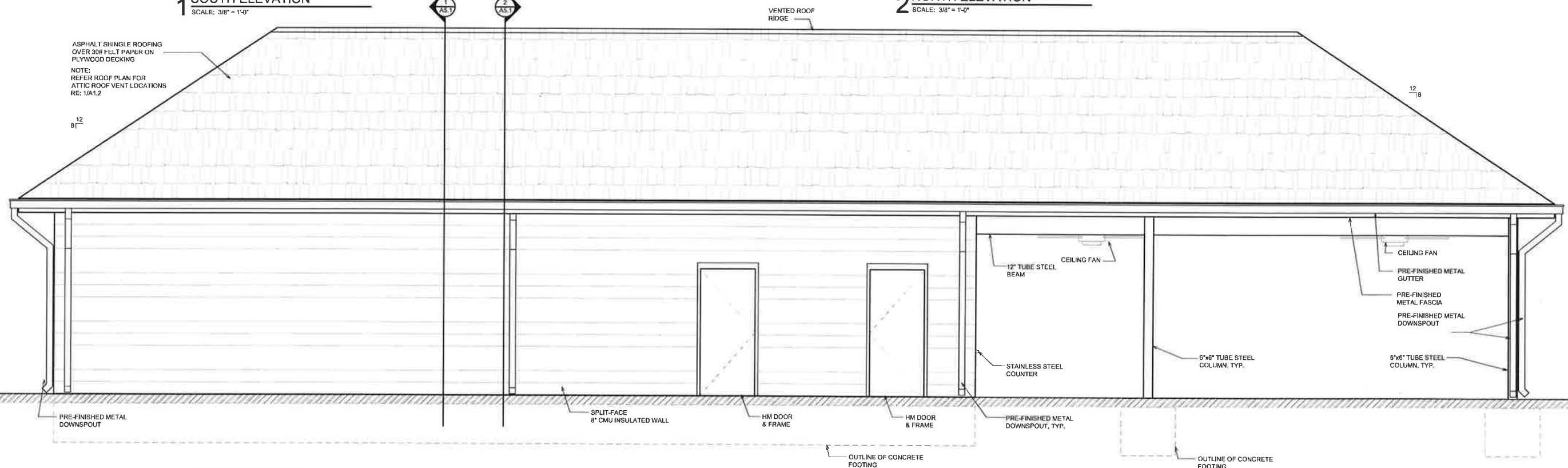
A1.2



1 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



3 WEST ELEVATION
SCALE: 3/8" = 1'-0"

GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

CONSTRUCTION DRAWINGS	10.12.16
REVISION	DATE



PROJECT NO.:	16-00400
FILE:	16-00400 A3-1
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

ARCHITECT:

GS HELMS
+ ASSOCIATES

ph: 918.298.7257 424 e. main st.
wb: gshelms.com jenkins, ok 74037

PROJECT TITLE:

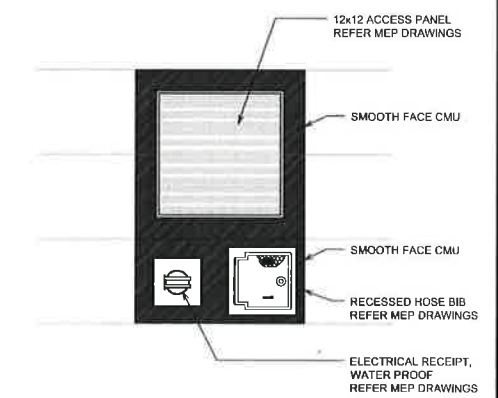
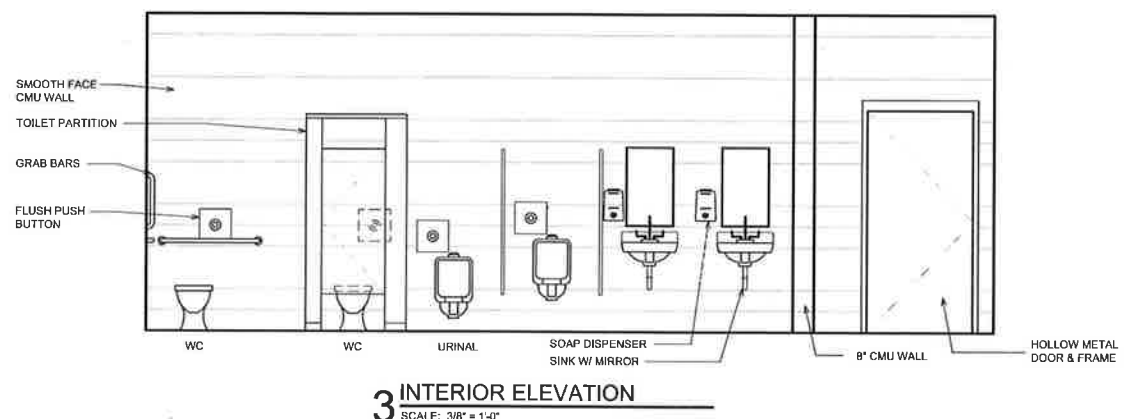
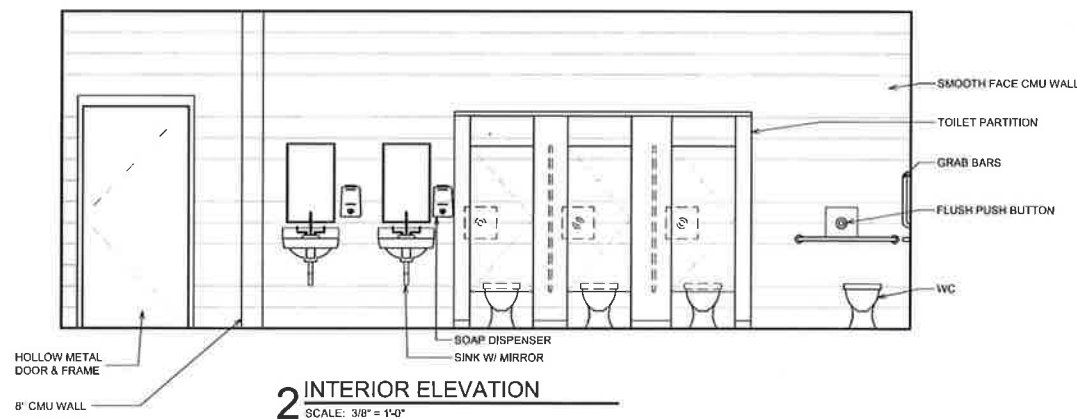
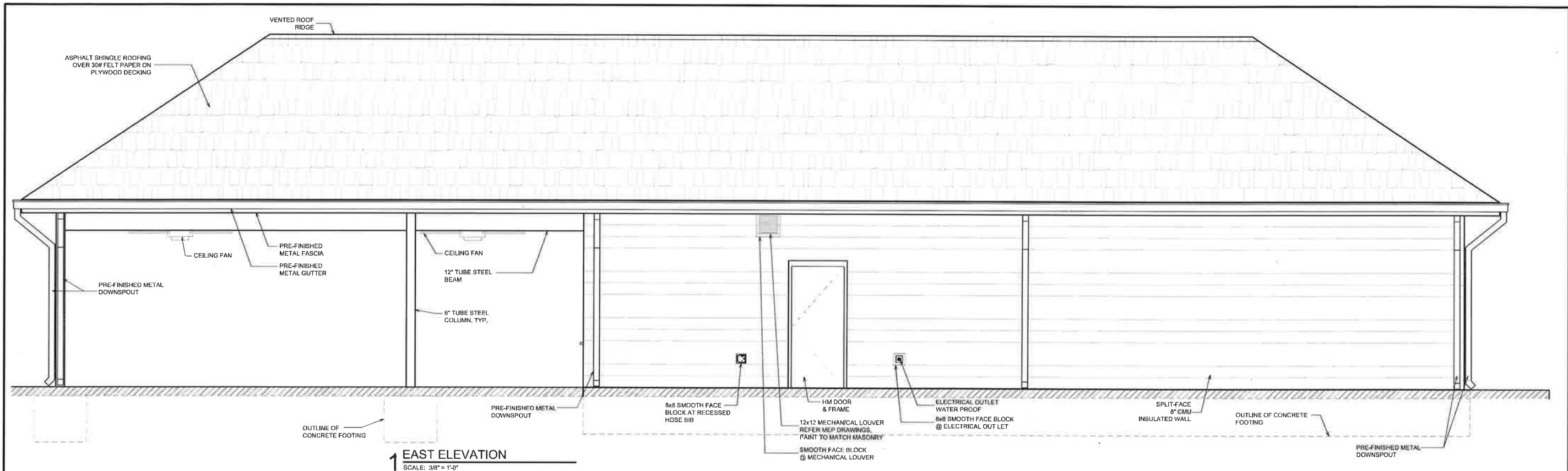
CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A3.1



ROOM FINISH SCHEDULE													
MARK	XXX	ROOM NAME	FLOOR	BASE	NORTH WALL		SOUTH WALL		EAST WALL		WEST WALL		NOTES
					MATL	FINISH	MATL	FINISH	MATL	FINISH	MATL	FINISH	
101		WOMEN	SC	*	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	
102		MEN	SC	*	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	
103		REFEREE ROOM	SC	*	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	
104		MECH / EQUIP ROOM	SC	*	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	
105		CONCESSION AREA	SC	*	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	

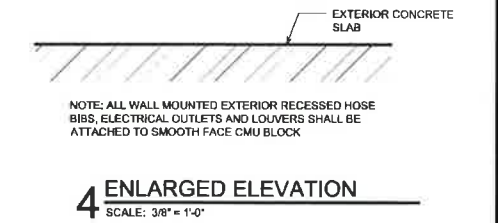
NOTE: ALL CEILINGS SCHEDULED TO BE GYP. BD. SHALL BE (2) LAYERS OF 5/8\"/>

ROOM FINISH & SPECIALTIES ABBREVIATIONS LEGEND

ACS	ACOUSTICAL CEILING SYSTEM	RT	RESILIENT TILE
EPF	EPOXY FLOORING	SC	SEALED CONCRETE
CMU	CONCRETE MASONRY UNIT	SS	STAINLESS STEEL
CPT	CARPET	WD	WOOD
ACP	ACCENT CARPET	WGB	WATER-RESISTANT GYPSUM WALLBOARD
CT	CERAMIC TILE	WPP	WALL PROTECTION PANELS
EPW	EPOXY WALL PAINT	RTS	RESILIENT TRANSITION STRIP
EX	EXISTING	CF	CONTRACTOR FURNISHED
ES	EXPOSED STRUCTURE	CI	CONTRACTOR INSTALLED
FF	FACTORY FINISH	OF	OWNER FURNISHED
FV	FIELD VERIFY	OI	OWNER INSTALLED
GB	GYPSUM WALLBOARD	FRP	FIBERGLASS REINFORCED PANEL
LAM	PLASTIC LAMINATE	WCP	WALK-OFF CARPET
HM	HOLLOW METAL	JCP	INSULATED COOLER PANEL
PT	PAINT	AL	ANODIZED ALUMINUM STOREFRONT FRAMING
PWD	PLYWOOD	VET	VINYL ENHANCED TILE
CG	CORNER GUARD	QT	QUARRY TILE
CON	CONCRETE	RB	RUBBER BASE
EPB	EPOXY BASE	RS	ROLLER SHADE
		RTS	RESILIENT TRANSITION STRIP
		SSM	SOLID SURFACE MATERIAL

ROOM FINISH SCHEDULE NOTES

- REFER SHEET A1.2 FOR STANDARD FIXTURE AND ACCESSORY HEIGHTS & LOCATIONS.
- VET PATTERNS TO BE CENTERED IN CORRIDORS. APPROVAL BY ARCHITECT OR TPS REPRESENTATIVE TO BE OBTAINED PRIOR TO GLUE-DOWN FOR FINAL INSTALLATION.



0	CONSTRUCTION DRAWINGS	10.12.16
1	REVISION	DATE



PROJECT NO.:	16-00400
FILE:	16-00400 A3-2
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

ARCHITECT:

GSHELMS
+ ASSOCIATES

ph: 918.298.7257 424 e. main st.
wb: gshelms.com jenkins, ok 74037

PROJECT TITLE:

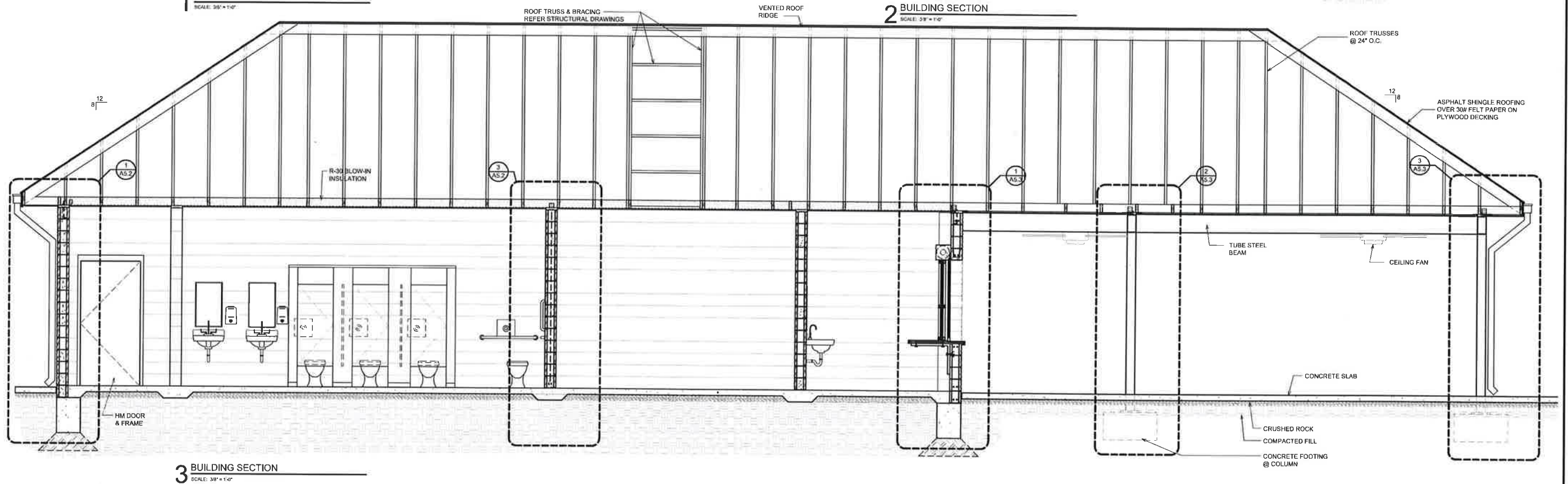
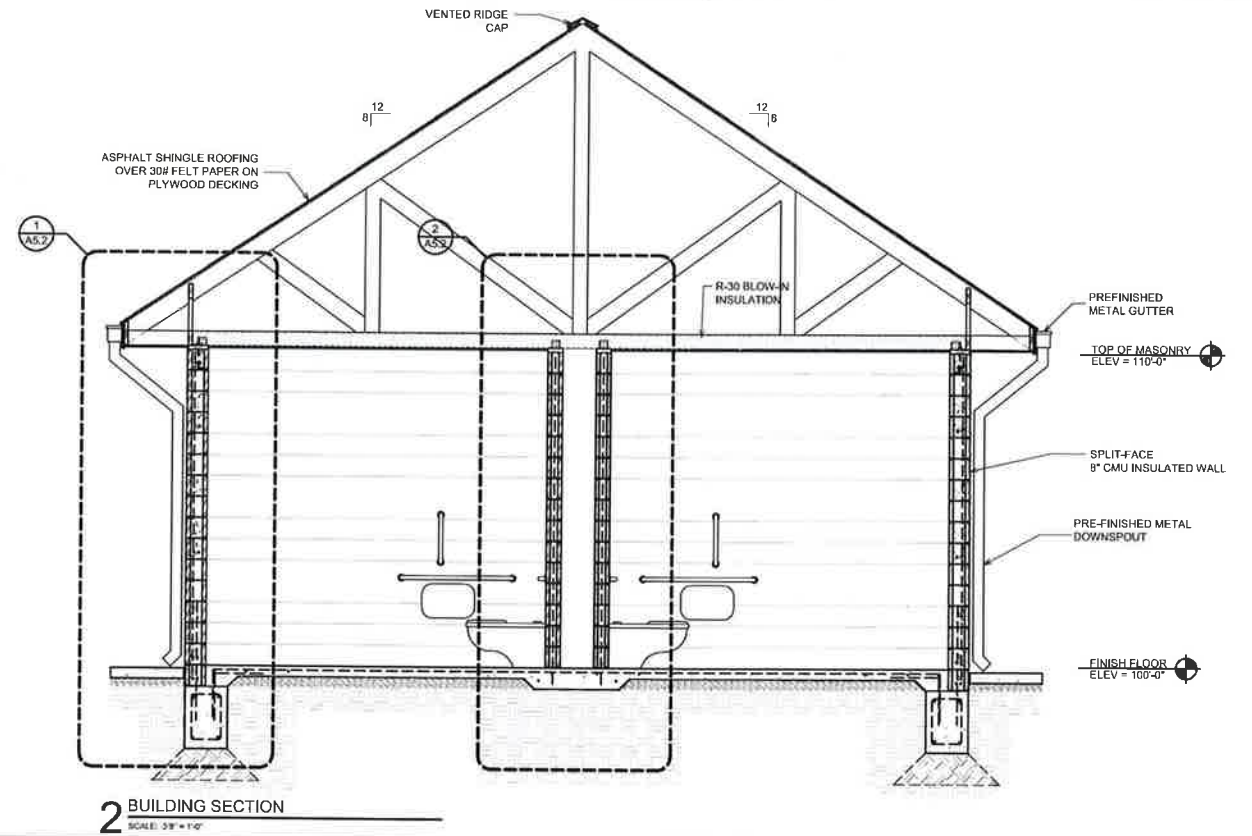
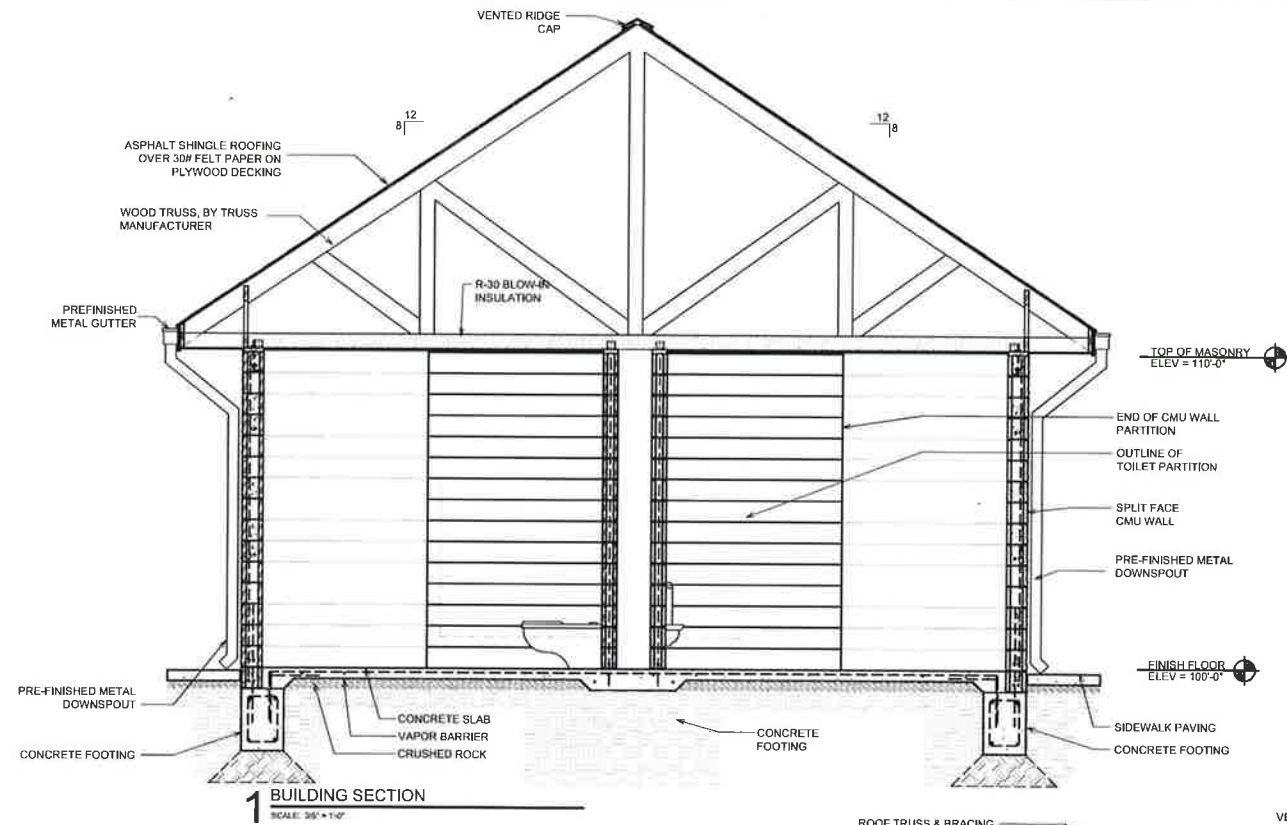
CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

EXTERIOR & INTERIOR ELEVATIONS

SHEET NUMBER:

A3.2



GSHELMS & ASSOCIATES, L.L.C. ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

0	CONSTRUCTION DRAWINGS	10.12.16
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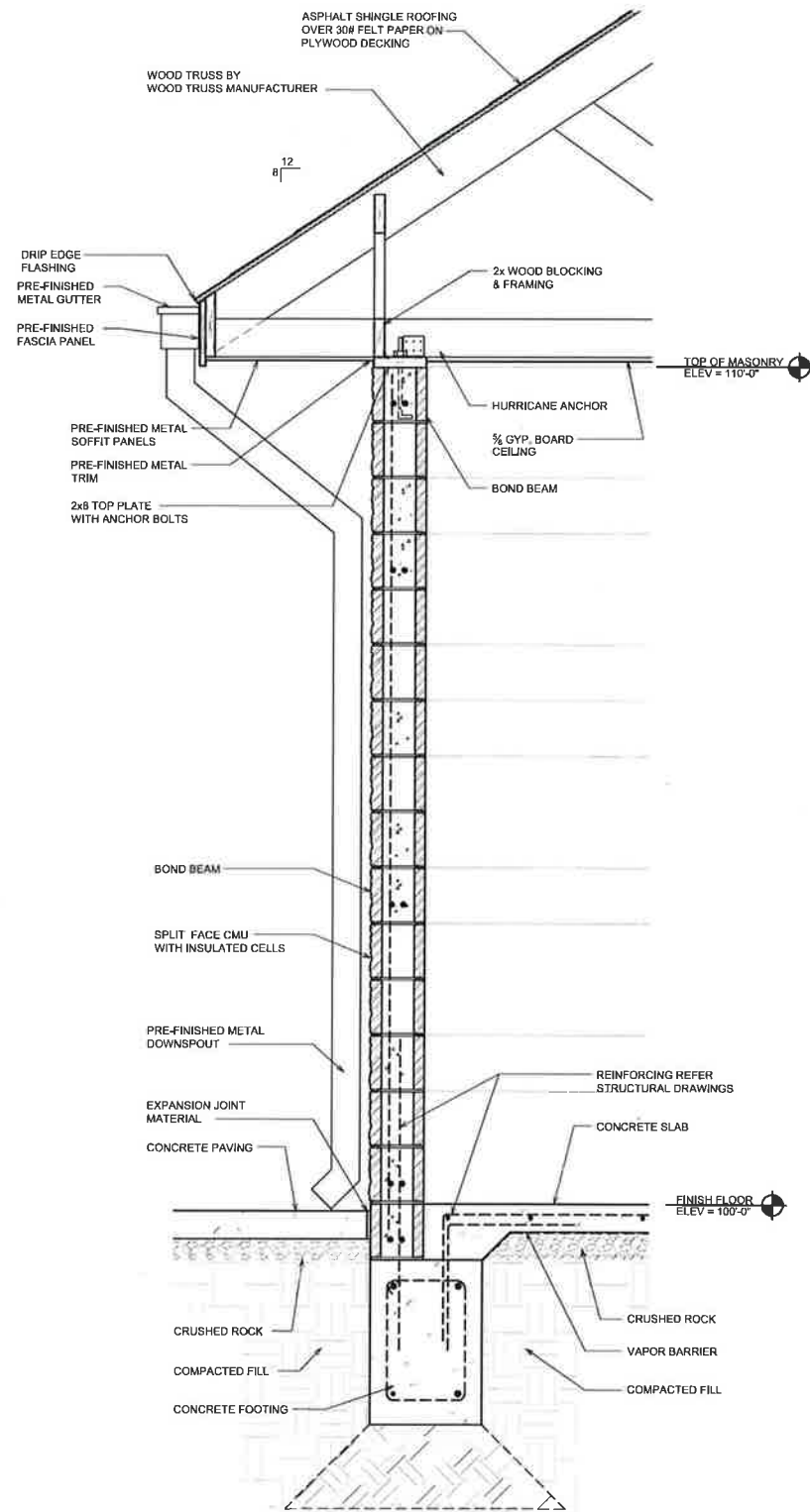
PROJECT NO.: 16-00400
FILE: 16-00400 A5-1
ISSUE DATE: 10.12.16
SCALE: AS NOTED
DRAWN BY: GSH
CHECKED BY: GSH
APPROVED BY: GSH

ARCHITECT:
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+ ASSOCIATES
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wb: gshelms.com | jenkins, ok 74037

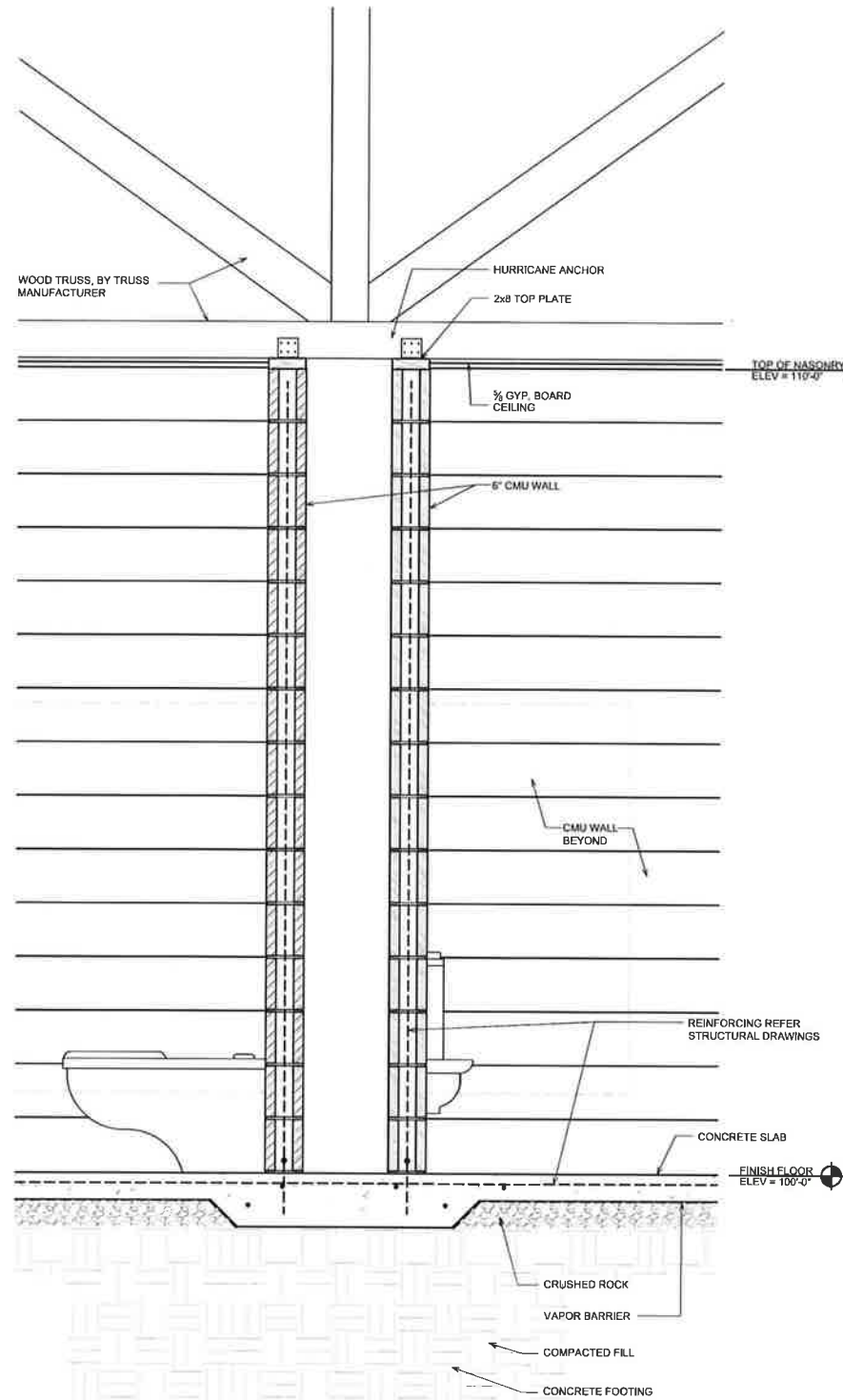
PROJECT TITLE:
CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
SHEET TITLE:
BUILDING SECTIONS

SHEET NUMBER:
A5.1

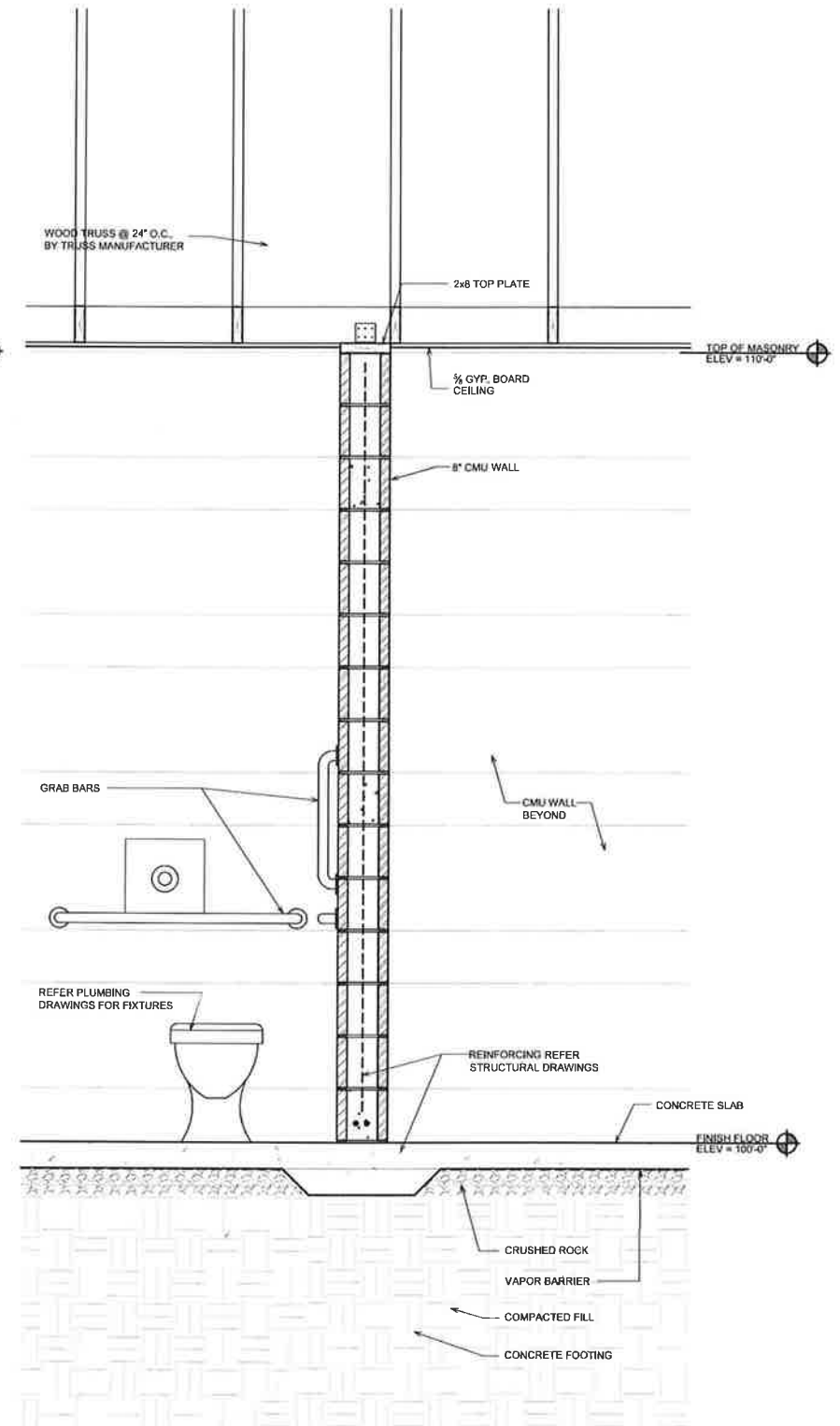
GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332



1 WALL SECTION
SCALE: 1" = 1'-0"

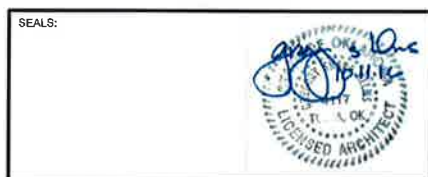


2 WALL SECTION
SCALE: 1" = 1'-0"



3 WALL SECTION
SCALE: 1" = 1'-0"

0	CONSTRUCTION DRAWINGS	10.12.18
#	REVISION	DATE



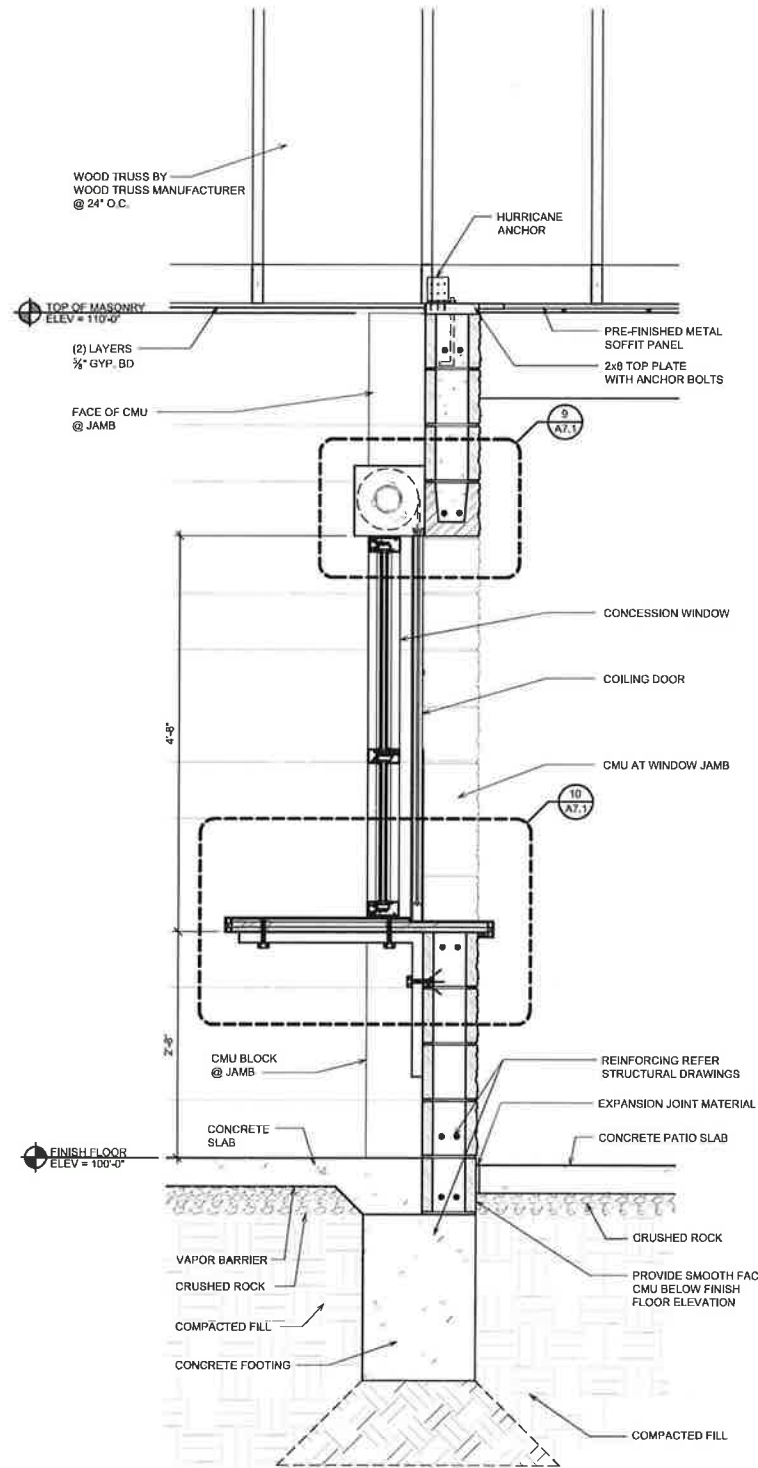
PROJECT NO.:	16-00400
FILE:	16-00400 AS-2
ISSUE DATE:	10.12.18
SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

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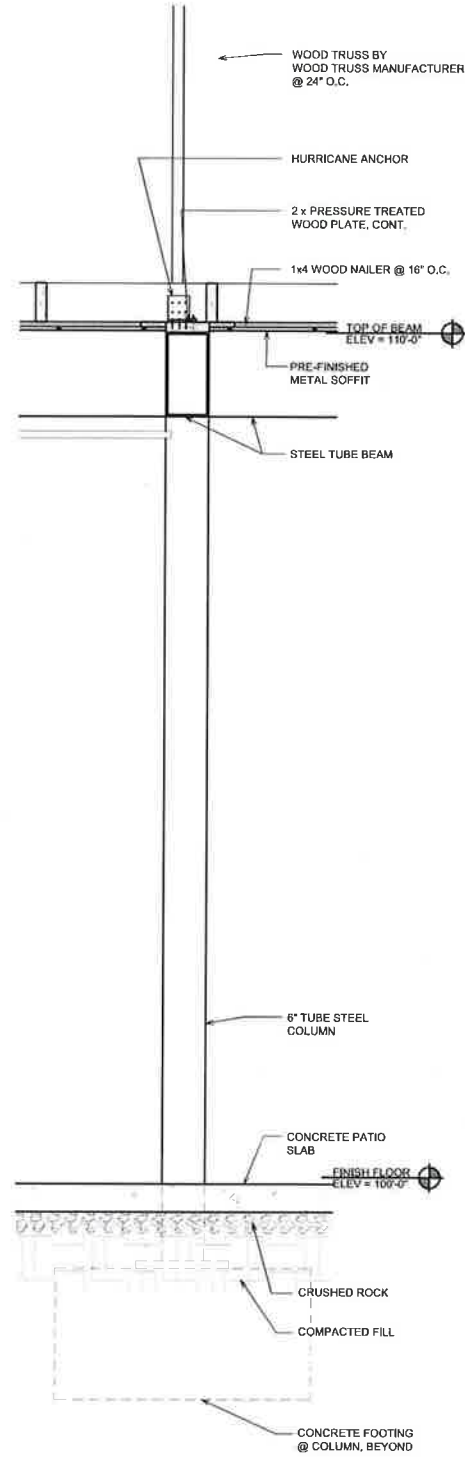
PROJECT TITLE: CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
SHEET TITLE: WALL SECTIONS

SHEET NUMBER:
A5.2

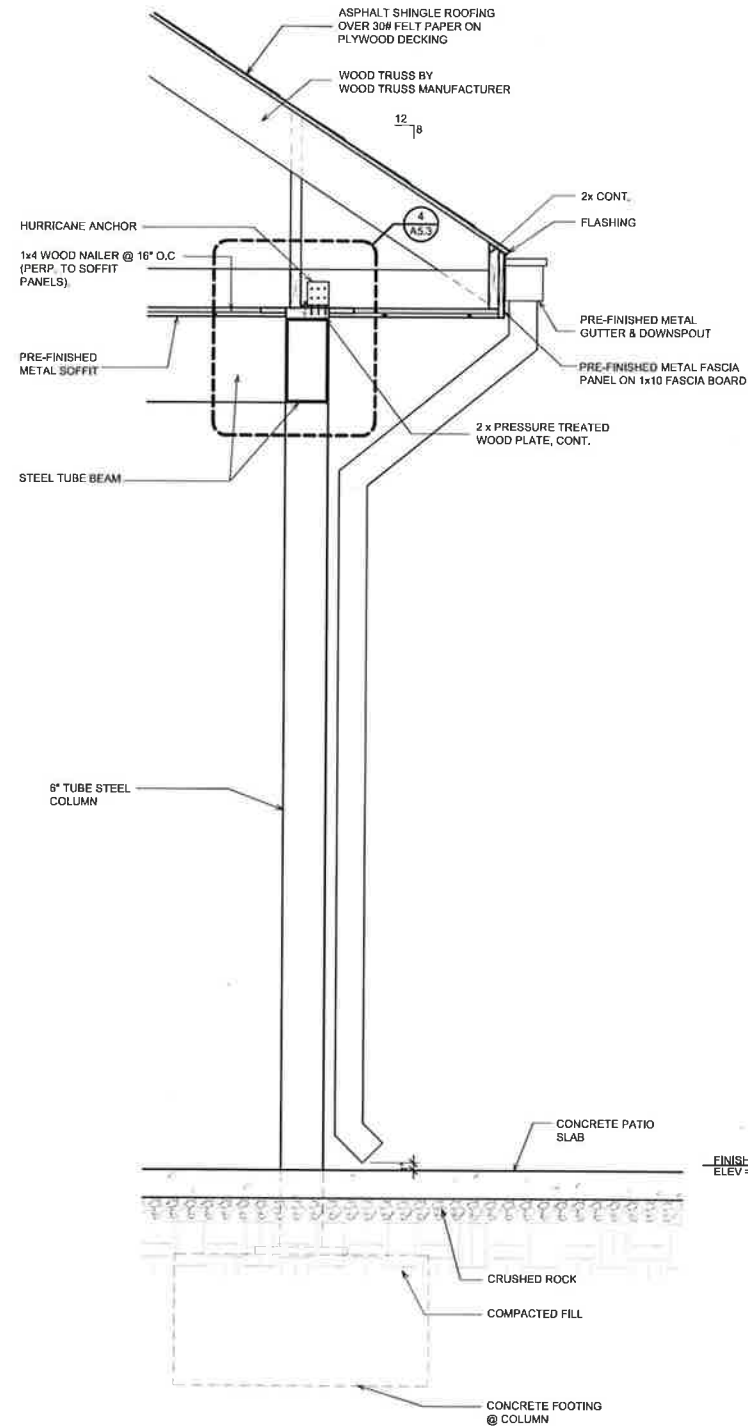
GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332



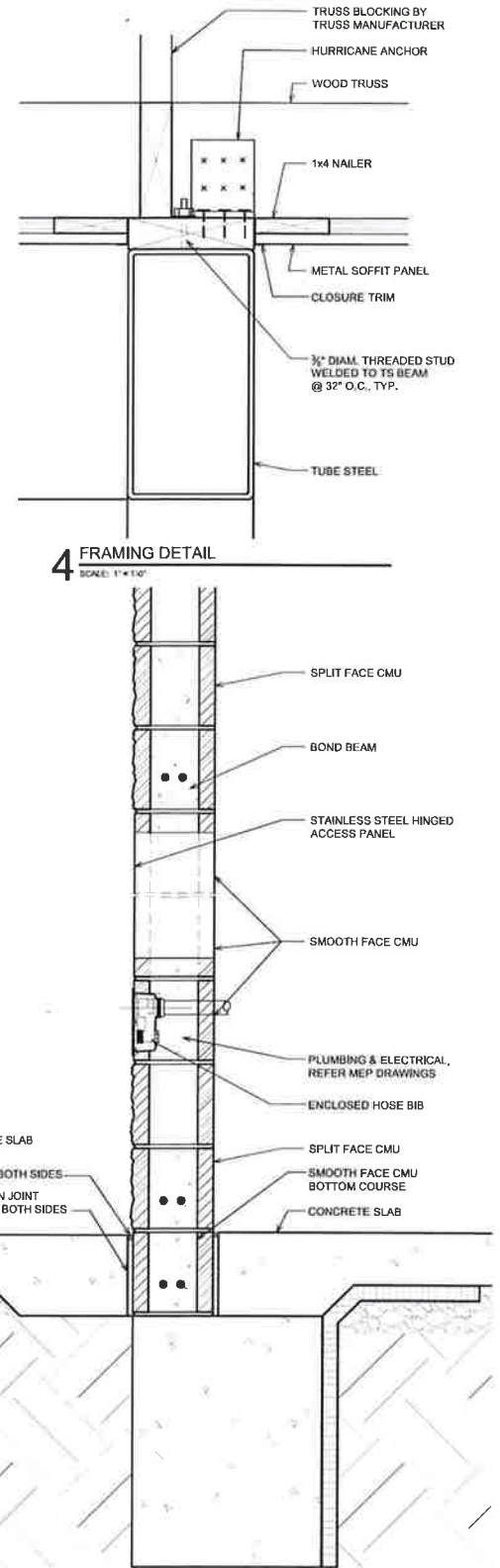
1 WALL SECTION
SCALE: 1" = 1'-0"



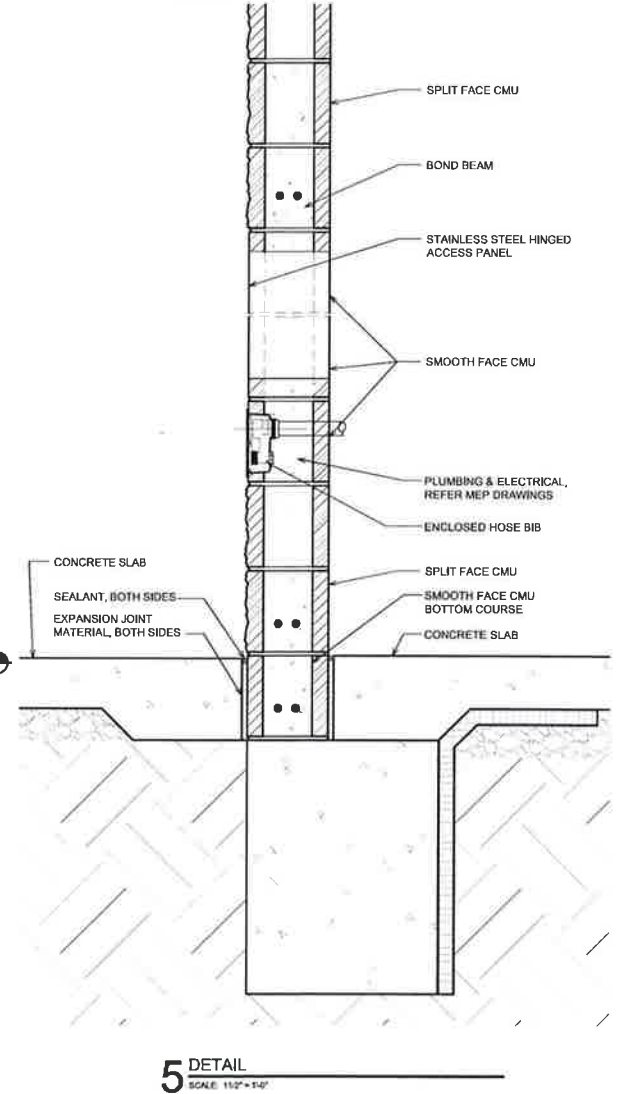
2 WALL SECTION
SCALE: 1" = 1'-0"



3 WALL SECTION
SCALE: 1" = 1'-0"



4 FRAMING DETAIL
SCALE: 1" = 1'-0"



5 DETAIL
SCALE: 1/2" = 1'-0"

0	CONSTRUCTION DRAWINGS	10.12.16
1	REVISION	DATE



PROJECT NO.:	16-00400
FILE:	16-00400 AS-3
ISSUE DATE:	10.12.16
SCALE:	AS NOTED
DRAWN BY:	GSH
CHECKED BY:	GSH
APPROVED BY:	GSH

ARCHITECT:

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PROJECT TITLE:

CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX**
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

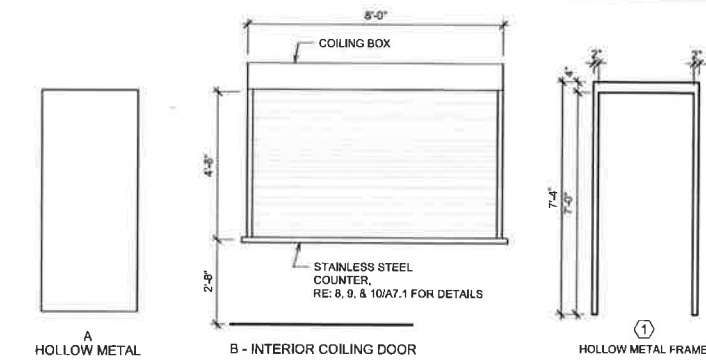
WALL SECTIONS

SHEET NUMBER:

A5.3

DOOR SCHEDULE

MARK	XXXX	DOOR						FRAME								FIRE RATING (IN MINUTES)	HARDWARE SET	REMARKS		
		TYPE	WOOD	HOLLOW METAL	ALUMINUM	WIDTH	HEIGHT	THICKNESS	TYPE	WOOD	HOLLOW METAL	ALUMINUM	OTHER	JAMB DETAIL	JAMB DETAIL				HEAD DETAIL	SILL DETAIL
101		A		●		3'-0"	7'-0"	1 3/4"	1		●			5/A7.1	5/A7.1	4/A7.1	6/A7.1	—	—	
102		A		●		3'-0"	7'-0"	1 3/4"	1		●			5/A7.1	5/A7.1	4/A7.1	6/A7.1	—	—	
103		A		●		3'-0"	7'-0"	1 3/4"	1		●			5/A7.1	5/A7.1	4/A7.1	6/A7.1	—	—	
104		A		●		3'-0"	7'-0"	1 3/4"	1		●			5/A7.1	5/A7.1	4/A7.1	6/A7.1	—	—	
105A		A		●		3'-0"	7'-0"	1 3/4"	1		●			5/A7.1	5/A7.1	4/A7.1	6/A7.1	—	—	
105B		B		●		8'-0"	4'-0"	1 3/4"	1			●		8/A7.1	8/A7.1	9/A7.1	10/A7.1	—	—	COILING DOOR TRACK BY MANUFACTURER
105C		B		●		8'-0"	4'-0"	1 3/4"	1			●		8/A7.1	8/A7.4	9/A7.1	10/A7.1	—	—	COILING DOOR TRACK BY MANUFACTURER



1 DOOR TYPES

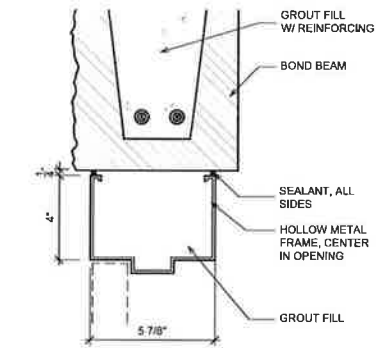
SCALE: 3/8" = 1'-0"

2 HOLLOW METAL FRAME ELEVATIONS

SCALE: 3/8" = 1'-0"

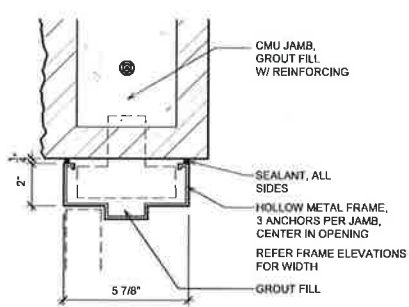
3 ALUMINUM FRAME ELEVATIONS

SCALE: 1/2" = 1'-0"



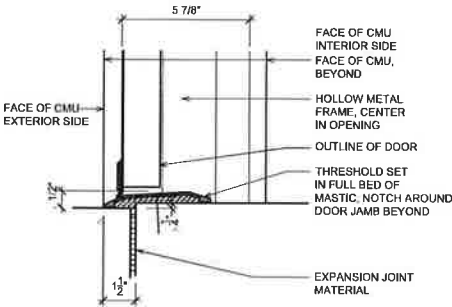
4 HOLLOW METAL HEAD

SCALE: 3" = 1'-0"



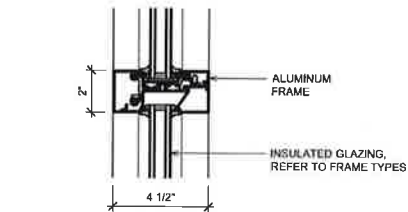
5 HOLLOW METAL JAMB

SCALE: 3" = 1'-0"



6 THRESHOLD

SCALE: 3" = 1'-0"



7 ALUMINUM MULLION

SCALE: 3" = 1'-0"

GLAZING & FRAMING NOTES:

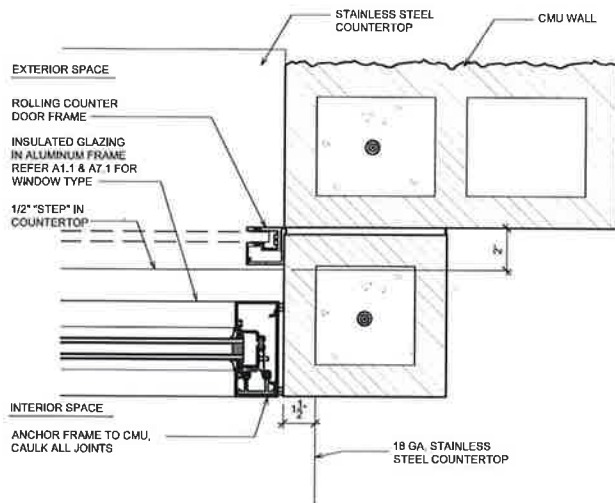
INTERIOR:

TYPE I TEMPERED GLASS, CLASS 1 CLEAR, Q3 (GLAZING SELECT), 1/4" THICK

EXTERIOR:

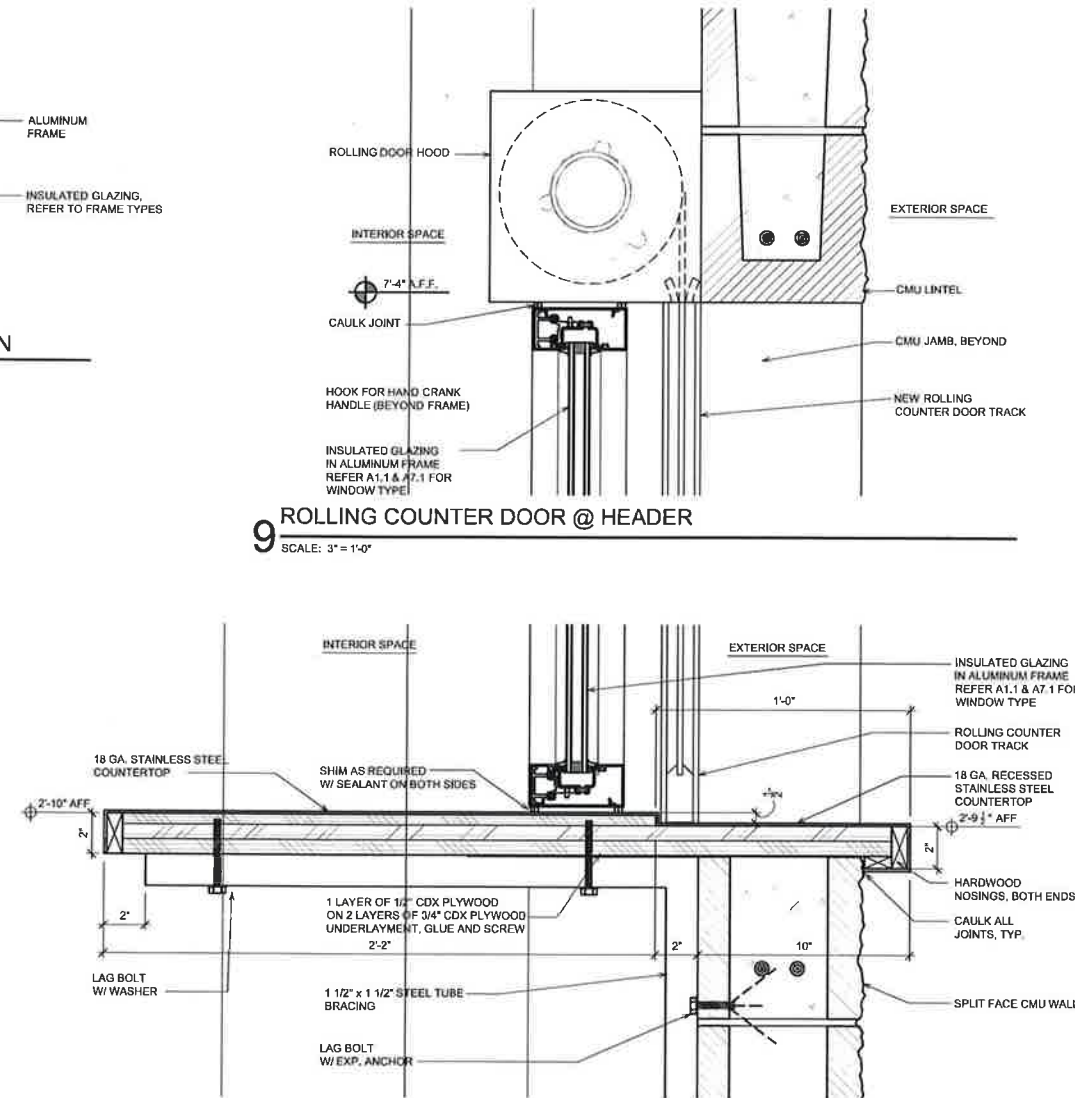
TYPE II 1" INSULATED GLASS UNIT, DOUBLE PANE, INNER PANE OF CLEAR, TEMPERED GLASS, OUTER PANE TINTED BRONZE, TEMPERED GLASS, INNER PANE SPACE PURGED WITH DRY HERMETIC AIR.

HOLLOW METAL FRAME DEPTHS ARE APPROXIMATE AND MAY VARY FROM MANUFACTURER TO MANUFACTURER. CONTRACTOR SHALL VERIFY EXACT REQUIRED DEPTH OF EACH FRAME PRIOR TO FABRICATION.



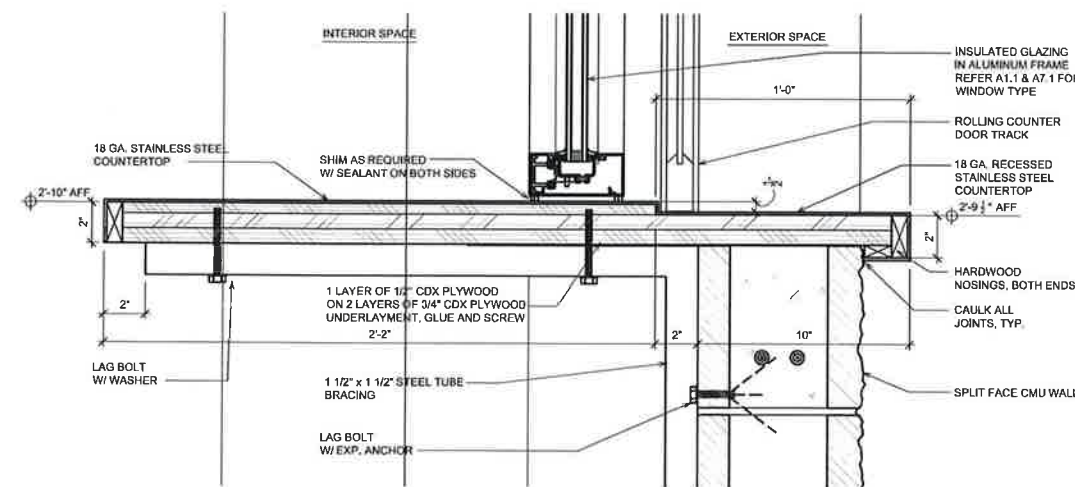
8 ROLLING COUNTER DOOR @ JAMB

SCALE: 3" = 1'-0"



9 ROLLING COUNTER DOOR @ HEADER

SCALE: 3" = 1'-0"



10 ROLLING COUNTER DOOR @ COUNTER

SCALE: 3" = 1'-0"

GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

CONSTRUCTION DRAWINGS	10.12.16
REVISION	DATE



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APPROVED BY:	GSH

ARCHITECT:

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+ ASSOCIATES

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wb: gshelms.com jenkins, ok 74037

PROJECT TITLE:

CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

DOOR SCHEDULE
DOOR, FRAME & WINDOW TYPES, DETAILS

SHEET NUMBER:

A7.1

EXHAUST FAN SCHEDULE

MARK	LOCATION	MANUFACTURER	MODEL NO.	CFM	E.S.P. I.W.G.	MAX RPM	SONES	H.P. (WATTS)	ELECTRICAL VOLTAGE	TYPE	NOTES	ACCESSORIES
EF-1	MENS	COOK	GC-542	300	0.375	1600	5.5	(131)	120/1/60	CEILING	2,3,6,7	GBD,RH,CB,DS
EF-2	WOMENS	COOK	GC-186	200	0.375	1100	5.5	(94)	120/1/60	CEILING	2,3,6,7	GBD,RH,CB,DS
EF-3	JANITOR	COOK	GC-148	100	0.357	1075	2.5	(46)	120/1/60	CEILING	2,3,6,7	GBD,RH,CB,DS
EF-4	PRIVATE TLT	COOK	GC-148	100	0.357	1075	2.5	(46)	120/1/60	CEILING	2,3,6,7	GBD,RH,CB,DS

NOTES:
1. TIMER CONTROLLED
2. SWITCH WITH LIGHTS
3. FACTORY INSTALLED SPEED CONTROL
4. SPEED CONTROL WALL SWITCH
5. BELT DRIVE
6. DIRECT DRIVE
7. VIBRATION ISOLATION MOUNTING.

8. WALL SWITCH
9. INTERLOCK WITH KITCHEN HOOD EXHAUST.
10. DOUBLE SILENCER.
ACCESSORIES:
GBD-GRAVITY BACKDRAFT DAMPER
MBD-MOTORIZED BACKDRAFT DAMPER
BS-BIRD SCREEN
CB-14" SLOPED ROOF CURB WITH BIRD SCREEN TO MATCH SPECIFIED ROOF CAP
DS-DISCONNECT SERVICE
RH-ROOF HOOD CURB MOUNTED ROOF CAP AS PROVIDED BY MANUFACTURER TO MATCH SPECIFIED FAN

GRILLE, REGISTER AND DIFFUSER SCHEDULE

MARK	SERVICE	MANUFACTURER	STYLE	MODEL NO.	MATERIAL	MOUNTING	FACE	NECK SIZE	FINISH	NOTES
A	SUPPLY	TITUS	ADJUSTABLE 4-WAY	250-AA-S4	ALUMINUM	SURFACE	PERPLAN+2"	PER PLAN	#26 WHITE	1,2,3,5,7
B	TRANSFER	TITUS	35'DEFL, 1/2" SPACING	355FL	ALUMINUM	SURFACE	22X22	20X20	#26 WHITE	1,2,3,4,5,6,7
C	RETURN	TITUS	35'DEFL, 1/2" SPACING	355FL	ALUMINUM	SURFACE	20X14	18X12	#26 WHITE	1,2,3,4,5,6,7

NOTES:
1. COORDINATE LOCATION OF AIR DEVICES WITH CEILING GRID, LIGHT LOCATIONS, STRUCTURAL MEMBERS AND ARCH. FEATURES.
2. FINAL FINISH OF AIR DEVICES SHALL BE VERIFIED WITH ARCHITECT'S FINISH AND PAINT SCHEDULE.
3. PROVIDE PLENUM FOR DUCT CONNECTION OR SQUARE TO ROUND NECK, AS REQUIRED.
4. PAINT DUCT INTERIOR FLAT BLACK BEHIND AIR DEVICE.
5. PROVIDE OPPOSED BLADE DAMPER.
6. PROVIDE WITHOUT SCREW HOLES.
7. PROVIDE FOAM GASKET AT FRAME.
8. PROVIDE FRAME FOR INSTALLATION IN GYP BOARD CEILING.

PLUMBING FIXTURE SCHEDULE

MARK	FIXTURE	SIZE	MANUFACTURER	CARRIER	PIPING CONNECTIONS (IN)				REMARKS/ACCESSORIES
	COLOR	TYPE	MODEL #	TRAP	SOIL	VENT	CW	HW	
WC-1	WATER CLOSET	ELONGATED BOWL	KOHLER	FLOOR	(4)	(2)	(1-1/4)	—	1.28 GPF, SLOW ROYAL OPTIMA 111-1.28 ES-S-TWO HARD WIRED FV, BEIMS 1955SSCT SEAT, WHITE OPEN FRONT W/SS CHECK HINGE
	WHITE	P.V.C	K-4406	INTEGRAL	4	2	1	—	
WC-1H	WATER CLOSET	ELONGATED BOWL	KOHLER	FLOOR	(4)	(2)	(1-1/4)	—	1.28 GPF, SLOW ROYAL OPTIMA 111-1.28 ES-S-TWO HARD WIRED FV, BEIMS 1955SSCT SEAT, WHITE OPEN FRONT W/SS CHECK HINGE
	WHITE	ADA, F.V.C	K-4405	INTEGRAL	4	2	1	—	
UR-1,1H	URINAL	WASH-OUT	KOHLER	ZURN Z-1222	(2)	(2)	(1)	—	0.5 GPF SLOW ROYAL 186-0.5 ES-S-TWO HARD WIRED FV, TOP SPUD
	WHITE	ADA, F.V., W.H.	K-4991-ET	INTEGRAL	2	1-1/2	3/4	—	
L-1,1H	LAVATORY	19x17	KOHLER	ZURN Z-1231	(2)	(2)	(1/2)	(1/2)	SLOW BASIS MODEL EPX-600 OFFSET TAILPIECE, GRID STRAINER CP SUPPLIES W/ WHEEL HANDLE STOPS, L-1H MOUNTED AT ADA HEIGHT. MIXING VALVE WATTS SERIES LFUSG-B-M2
	WHITE	CAST IRON	K-2861	17GA. CP TUBE	1-1/4	1-1/4	1/2	1/2	
L-2H	LAVATORY	19x17	KOHLER	ZURN Z-1231	(2)	(2)	(1/2)	(1/2)	DELTA 501-LF-WF FAUCET, 0.5GPM AERATOR OFFSET TAILPIECE, GRID STRAINER CP SUPPLIES W/ WHEEL HANDLE STOPS, L-1H MOUNTED AT ADA HEIGHT. MIXING VALVE WATTS SERIES LFUSG-B-M2
	WHITE	CAST IRON	K-2861	17GA. CP TUBE	1-1/4	1-1/4	1/2	1/2	
FPHB	HOSE BIBB	C.I. BODY	WOODFORD	WALL	—	—	(3/4)	—	ANTI-SIPHON VACUUM BREAKER W/ 3/4" MALE HOSE THREAD REMOVABLE KEY, CHROME PLATED TRIM & DOOR
	STD.	FROST PROOF	MODEL 65	—	—	—	3/4	—	
MSB	MOP SERVICE BSGN	24x24x10	FAT	FLOOR	(3)	(2)	(1/2)	(1/2)	830-AA FAUCET, VACUUM BREAKER, INTEGRAL STOPS, PAUL HOOK, 832-AA HOSE AND HOSE BRACKET, STAINLESS STEEL BACK SPLASH
	WHITE	MOLDED STONE	MSB-2424	3" DEEP SEAL	3	2	1/2	1/2	
FD-1	FLOOR DRAIN	6" STRAINER	ZURN	FLOOR	(3)	(1-1/2)	—	—	ADJUSTABLE TOP, SEDIMENT BUCKET, PROSET TRAP GUARD
	STD.	C.I. BODY	Z-415B-Y	DEEP SEAL C.I.	3	1-1/2	—	—	
FD-1	DRINKING FOUNTAIN	—	—	—	—	—	(1/2)	—	REFER TO ARCHITECTURAL SITE PLANS FOR MAKE AND MODEL OF DRINKING FOUNTAIN
	—	—	BY ARCHITECT	—	—	—	1/2	—	

NOTES:
1. ALL WALL MOUNTED EQUIPMENT TO BE PROVIDED WITH ADDITIONAL REINFORCING IN WALL CONSTRUCTION.
2. ALL LAVATORY AND SINK SUPPLIES TO BE CHROME PLATED WITH STOP VALVES.
3. LOCATE FLUSH VALVES FOR HANDICAP ACCESSIBLE WATER CLOSETS WITH ACTUATOR ON WIDE ACCESS SIDE OF FIXTURE.
4. INSULATE HANDICAP ACCESSIBLE LAVATORY TAILPIECE, WASTE P-TRAP, HOT WATER SUPPLY, AND COLD WATER SUPPLY WITH TRU-BRO MODEL 102 & 105

FURNACE AND HEAT PUMP UNIT SCHEDULE

MARK	FURNACE	HEAT PUMP
MANUFACTURER	TRANE	-
MODEL NO.	GAWS60A24M1	-
CFM	600	-
OUTSIDE AIR (CFM)	80	-
TOTAL E.S.P. (INWG)	0.75	-
FAN (H.P.)	1/3	-
ELECTRICAL DATA	208/1/60	SEE ELECTRIC STRIP HEAT
VOLTAGE	M.C.A.	-
WEIGHT (LBS)	120	-
COOLING CAPACITY	22.3	17.5
TOTAL (MBH)	-	-
HEATING CAPACITY	21.8	13.1
HIGH (MBH)	-	-
LOW (MBH)	-	-

MANUFACTURER	TRANE	-
MODEL	BAVE6M040K1A	-
NO. OF STAGES	1	-
HEAT CAPACITY	2.88	-
KW	-	-

ELECTRICAL DATA	208/1/60	21	-
VOLTAGE	M.C.A.	-	-

HEAT PUMP UNIT	MARK	HPU-1	-
MANUFACTURER	TRANE	-	-
MODEL NO.	47WRS024G1	-	-
NOMINAL COOLING CAP. (MBH)	0.24	-	-
EER (SEER)	12.5	-	-
ELECTRICAL	208/1/60	12	-
VOLTAGE	M.C.A.	-	-

COIL	MARK	-	-
WEIGHT (LBS)	222	-	-
NOTES	ALL APPLY	-	-
ACCESSORIES	A,B,C,D,E,F,G,H,J	-	-

NOTES:
1. COOLING CAPACITY LISTED BASED ON 105°F O.A., 80°F DB/67°F WB EAT.
2. SET UNIT LEVEL IN ALL DIRECTIONS.
3. REFER TO PROJECT MANUAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS AND FEATURES.
4. ARRANGE HEAT PUMP OUTDOOR UNITS TO ALLOW MANUFACTURER'S REQUIRED SERVICE CLEARANCES.
5. HEATING CAPACITY LISTED BASED ON 47° AND 17° O.A. RESPECTIVELY.
ACCESSORIES:
A. PLEATED THROW AWAY MERV8 FILTERS.
B. ELECTRONIC EXPANSION VALVE.
C. TIME DELAY RELAY.
D. UNIT SUPPORT FEET.
E. CRANKCASE HEATER.
F. FILTER DRIER.
G. LOW PRESSURE SWITCH.
H. LOW AMBIENT KIT TO ALLOW COOLING DOWN TO 0° F.
I. FACTORY INSTALLED HAIL GUARD.

PLUMBING GENERAL NOTES:

- WORK SHOWN ON THE DRAWINGS IS TO BE COORDINATED WITH WORK OF ALL OTHER TRADES AND ACTUAL CONDITIONS OF CONSTRUCTION.
- VERIFY LOCATION AND SIZE OF ALL EXISTING PLUMBING SERVICES INDICATED TO BE EXTENDED, TIED-TO, OR REVISED FOR NEW WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- ESTABLISH LOCATION AND SIZE OF UTILITY SERVICES PRIOR TO BUILDING ROUGH-IN. COORDINATE LOCATION OF BUILDING SERVICE ENTRANCES AND SYSTEM PIPE ROUTING WITH UTILITY SERVICES MAJOR ON SITE AND SITE FEATURES AND CONDITIONS.
- VERIFY FLOW LINE INVERTS OF BUILDING MAIN SEWER EXITS REQUIRED FROM FUTURESTORM DRAINAGE LINE AND SITE SEWER TIE-IN LOCATIONS INVERT PRIOR TO BEGINNING BUILDING ROUGH-IN. NOTIFY ARCHITECT IF ADEQUATE FALL BETWEEN BUILDING AND SEWER CONNECTION CANNOT BE ACHIEVED.
- LAY OUT THE PLUMBING SYSTEM IN CAREFUL COORDINATION WITH THE DRAWINGS, DETERMINING PROPER ELEVATION FOR ALL COMPONENTS OF THE SYSTEM. FOLLOW THE GENERAL LAYOUT SHOWN ON DRAWINGS IN ALL CASES EXCEPT WHERE OTHER WORK MAY INTERFERE.
- INSTALL PIPING PARALLEL AND PERPENDICULAR TO BUILDING WALLS AND PARTITIONS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATIONS OF WALLS, DOORS AND FEATURES.
- LAY OUT PIPES TO FALL WITHIN PARTITIONS OR CHASES. DO NOT REQUIRE FURRING OTHER THAN THOSE SHOWN ON THE DRAWINGS.
- DO NOT INSTALL DOMESTIC WATER PIPING IN EXTERIOR WALLS, WHERE BUILDING DESIGN FORCES INSTALLATION OF PIPING IN EXTERIOR WALLS. INSTALL PIPING ON ROOM SIDE OF EXTERIOR WALL INSULATION AND INCREASE PIPE INSULATION THICKNESS REQUIRED TO NEXT STANDARD THICKNESS WITH A MINIMUM THICKNESS OF 1-1/2 INCHES.
- NO FIXTURE TRAP SHALL BE INSTALLED INSIDE EXTERIOR WALLS.
- MAKE CHANGES IN PIPE SIZE NOTED ON THE PLANS AFTER LAST FITTING OF LARGER PIPE. WHEN SUPPLY PIPES ARE LARGER THAN EQUIPMENT TAPINGS, REDUCE SIZE IMMEDIATELY PRIOR TO ENTRY.
- MAKE CHANGES IN DIRECTION WITH MANUFACTURED STANDARD PIPE FITTINGS.
- CAP ALL PIPE OPENINGS DURING CONSTRUCTION.
- LABEL PIPING TO IDENTIFY SYSTEM TYPE AND DUTY.
- COORDINATE LOCATION AND METHOD OF ATTACHMENT OF HANGERS AND SUPPORTS FOR PIPING SYSTEM TO BUILDING STRUCTURE WITH THE ARCHITECT.
- SLEEVE PIPING THROUGH EXTERIOR WALLS ON GRADE SLAB FLOORS. MINIMUM SPACE BETWEEN PIPE AND SLEEVE SHALL BE CALLED AND SEALED. EXTEND SLEEVES A MINIMUM OF 2 INCH ABOVE FLOOR PENETRATIONS IN POTENTIALLY WET AREAS SUCH AS MECHANICAL AND EQUIPMENT ROOMS.
- DOMESTIC WATER PIPING SHALL BE INSTALLED TO SLOPE TO DRAIN POINTS. WHERE CONDITIONS INDICATE TRAPPED SECTION OF PIPING, A DRAIN VALVE OR CAPPED TEE SHALL BE INSTALLED TO FACILITATE DRAINING OF THE TRAPPED SECTION OF PIPING.
- THOROUGHLY FLUSH DOMESTIC WATER PIPING. SCREWEDED OUTLETS SHALL BE REMOVED DURING FLUSHING PROCESS AND REINSTALLED AT COMPLETION.
- INSULATE ALL DOMESTIC HOT AND COLD WATER PIPING.
- COPPER AND PLASTIC PIPING INSTALLED IN STUD WALLS SHALL BE PROTECTED WITH MINIMUM 1/16 INCH SHIELD PLATES EXTENDING BEYOND THE PIPE IN ALL DIRECTIONS.
- INSTALL SHUT-OFF VALVES IN HOT WATER AND COLD WATER LINES AHEAD OF CONNECTIONS TO ALL PLUMBING FIXTURES & EQUIPMENT.
- REVIEW CONNECTION REQUIREMENTS OF ACTUAL EQUIPMENT FURNISHED PRIOR TO ROUGH-IN. (THIS INCLUDES EQUIPMENT FURNISHED BY MECHANICAL CONTRACTOR, ANY OTHER DIVISION WORK, OR THE OWNER.) ADJUST ROUGH-IN TO MEET INSTALLATION REQUIREMENTS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ELEVATIONS AND DIMENSIONED LOCATIONS OF PLUMBING FIXTURES. FIXTURES DESIGNATED FOR HANDICAP USE SHALL BE INSTALLED TO MEET MOST CURRENT APPLICABLE ADA AND/OR ANSI REQUIREMENTS FOR INSTALLATION CLEARANCE AND ACCESS.
- FLOOR DRAINS AND CLEANOUTS SHALL BE FURNISHED WITH TOP AND TRIM COMPATIBLE WITH FLOOR COVERING MATERIAL. REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR FINISH ALTERNATES AFFECTING FLOOR DRAIN AND CLEANOUT TRIM REQUIREMENTS.
- ALL FLOOR DRAINS TO HAVE A MINIMUM WATER SEAL OF 3 INCHES.
- SLOPE FLOOR TO DRAIN AS NOTED ON THE ARCHITECTURAL DRAWINGS. FLOOR DRAINS SHALL NOT BE INSTALLED WITH "DUCK NEST" AROUND DRAIN.
- FLOOR CLEANOUTS SHALL BE LOCATED A MINIMUM OF 18 INCHES CLEAR FROM WALLS AND OBSTRUCTIONS TO SERVICE.
- LOCATE CLEANOUTS AT CHANGES OF DIRECTION AND NO MORE THAN 50-FT. O/C. INSIDE THE BUILDING AND 100 FT. O/C. FOR EXTERIOR PIPING. PROVIDE ADDITIONAL CLEANOUTS AS NOTED AND/OR REQUIRED TO FULLY CLEAN AND SERVICE PIPING SYSTEMS.
- INSTALL A CLEANOUT AT THE FOOT OF EACH SINK WASTE STACK.
- PROVIDE ACCESS DOORS FOR ALL INACCESSIBLE VALVES AND CLEANOUTS.
- COORDINATE LOCATION OF TERMINATION OF VENT PIPING WITH OTHER TRADES AND ARCHITECTURAL FEATURES AND CONDITIONS. MAINTAIN REQUIRED CLEARANCES TO OUTSIDE AIR INTAKES, WINDOWS, ETC. AS REQUIRED BY LOCALLY ACCEPTED CODE.
- RUN ALL DRAIN LINES FROM EQUIPMENT OVERFLOW RECEPTORS, ETC. TO FLOOR/ HUB DRAINS. DRAIN LINES SHALL BE HARD DRAWN COPPER INSTALLED WITH MINIMUM 1/8 INCH PER FOOT SLOPE SECURED BY GUIDES AND SUPPORTS FOR PIPE SIZE SHOWN. NO DRAIN LINE TO BE SMALLER THAN 3/4 INCH. INSTALL TEE AT EACH ELBOW OF CONDENSATE DRAIN WITH CLEANOUT PLUG ON DRAIN TEE.
- REFER TO ARCHITECTURAL DRAWINGS AND DIVISION 1 SPECIFICATIONS FOR DESCRIPTION OF ALTERNATES.

H.V.A.C. GENERAL NOTES:

- WORK SHOWN ON THE DRAWINGS IS TO BE COORDINATED WITH WORK OF ALL OTHER TRADES AND ACTUAL CONDITIONS OF CONSTRUCTION.
- INSTALL ALL EQUIPMENT IN ACCORDANCE WITH CODE REQUIREMENTS AND MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, ADHERING TO REQUIRED CLEARANCES FOR OPERATION AND SERVICING.
- ELECTRICAL REQUIREMENTS OF FURNISHED AND INSTALLED MECHANICAL EQUIPMENT AND SYSTEM COMPONENTS SHALL BE PROVIDED IN WRITING BY THE MECHANICAL CONTRACTOR TO THE ELECTRICAL CONTRACTOR FOR INCLUSION AND COORDINATION OF ELECTRICAL WORK.
- PROVIDE FLEXIBLE DUCT CONNECTION TO EXHAUST FANS, AND FURNACES, ETC.
- DUCTWORK CONSTRUCTION AND INSTALLATION SHALL BE PER MOST RECENT SMACNA STANDARDS FOR PRESSURE AND DUCT DIMENSION OF SYSTEM INSTALLATION. ALL DUCT JOINTS SHALL BE SEALED AS NOTED IN THE SPECIFICATIONS.
- DUCT SIZES SHOWN ON DRAWING ARE INSIDE CLEAR.
- MAKE TRANSITION FROM DUCTWORK SIZES SHOWN ON THE DRAWINGS TO EQUIPMENT DUCT CONNECTION SIZES. VERIFY EQUIPMENT CONNECTION SIZES WITH FACTORY CERTIFIED DRAWINGS. MAKE ALL TRANSITIONS PER MOST RECENT SMACNA STANDARDS.
- THE CONTRACTOR SHALL COORDINATE ROUTING AND SIZE OF DUCTWORK WITH ACTUAL FINAL BUILDING CONDITIONS OF STRUCTURE SIZE AND LOCATION. LIGHT LOCATIONS, ARCHITECTURAL FEATURES, AND WORK OF OTHER TRADES. WHERE DUCT SIZES MUST BE REVISED FROM THOSE SHOWN ON THE DRAWINGS, MAINTAIN SAME CROSS SECTIONAL AREA, VELOCITY AND PRESSURE DROP. WHEN NECESSARY, REROUTE DUCT TO CLEAR OBSTRUCTIONS WITH MINIMUM NUMBER OF FITTINGS AND ELEVATION CHANGES. WHERE DUCT MUST BE SIGNIFICANTLY ALTERED FROM THAT SHOWN ON THE DRAWINGS, NOTIFY THE ARCHITECT PRIOR TO PROCEEDING.
- MECHANICAL CONTRACTOR SHALL PROVIDE TEST AND BALANCE OF HVAC SYSTEMS. FILTERS SHALL BE NEW AND CLEAN. DUCTWORK CLEAN AND EQUIPMENT CONTROLS AND DEVICES FULLY FUNCTIONAL AT THE TIME OF PERFORMING BALANCE WORK.
- MAINTAIN MINIMUM 10'-0" CLEAR BETWEEN ANY FLUE, VENT OR TOILET EXHAUST AND OUTSIDE AIR INTAKES. WHERE HORIZONTAL DISTANCE CANNOT BE PROVIDED, EXTEND FLUE VENTS 3'-0" ABOVE OUTSIDE AIR INTAKE.
- INSTALL ALL MOTOR DRIVEN EQUIPMENT WITH VIBRATION ISOLATORS AND OR PADS TO REDUCE NOISE TRANSFER.
- ALL EQUIPMENT SHALL BE PERMANENTLY LABELED WITH SIGNAGE SECURED TO EQUIPMENT.
- CONDENSATE PIPING SHALL BE AS NOTED ON THE DRAWING, BUT IN NO CASE LESS THAN 3/4 INCHES.
- ROUTE CONDENSATE PIPING TO APPROVED DISCHARGE LOCATION. PROVIDE CONDENSATE TRAP WITH CLEANOUTS AND VENT ON DISCHARGE SIDE OF TRAP FOR ALL UNITS WITH COOLING COILS. TRAP DEPTH SHALL BE A MINIMUM OF THE UNIT TOTAL PRESSURE PLUS 2 INCHES.
- CONDENSATE PIPING INSTALLED WITHIN THE BUILDING SHALL BE FULLY INSULATED COPPER AND PROVIDED WITH VAPOR BARRIER OR PVC UNINSULATED.
- REFER TO ARCHITECTURAL DRAWINGS AND DIVISION 1 SPECIFICATIONS FOR DESCRIPTION OF ALTERNATES.

REVISION	DATE



PROJECT NO.: 16-00400
FILE:
ISSUE DATE: 09.02.16
SCALE: AS NOTED
DRAWN BY: DMS,DSP,GMB
CHECKED BY: GJM,JKM
APPROVED BY: GDG,TEM

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OK 5479 EXP. 06/30/2018

PROJECT TITLE: CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

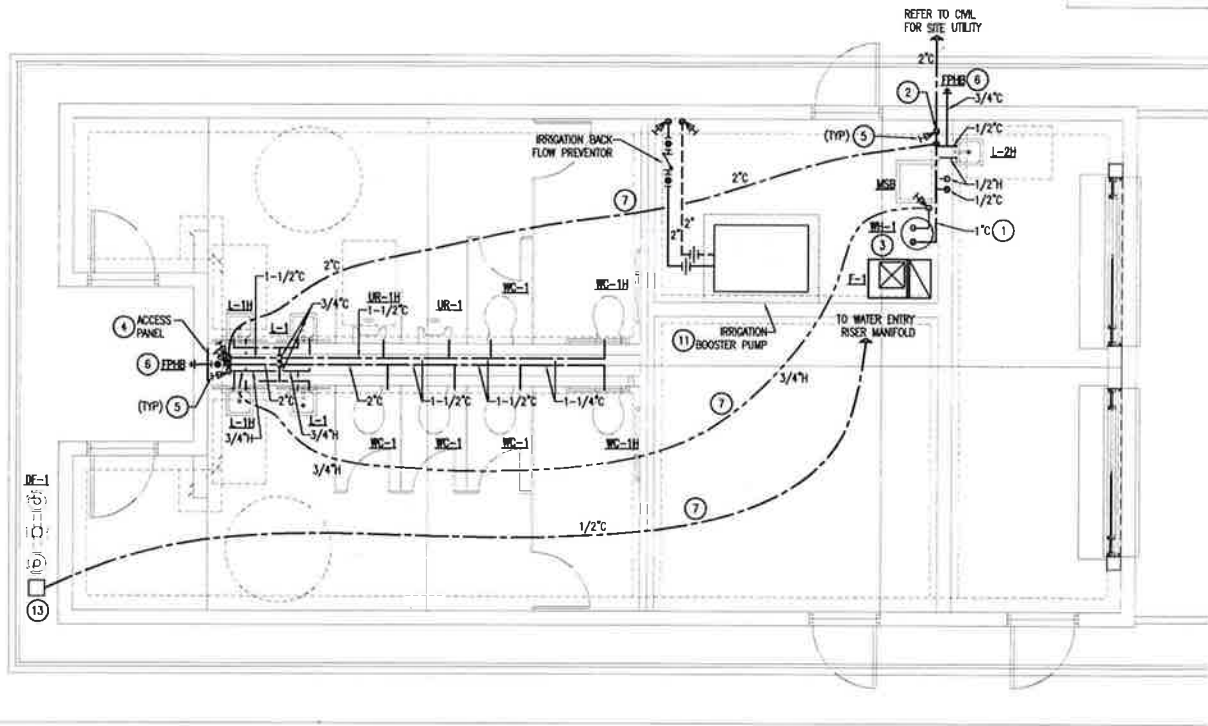
SHEET TITLE: **MECHANICAL AND PLUMBING SCHEDULES**

SHEET NUMBER:

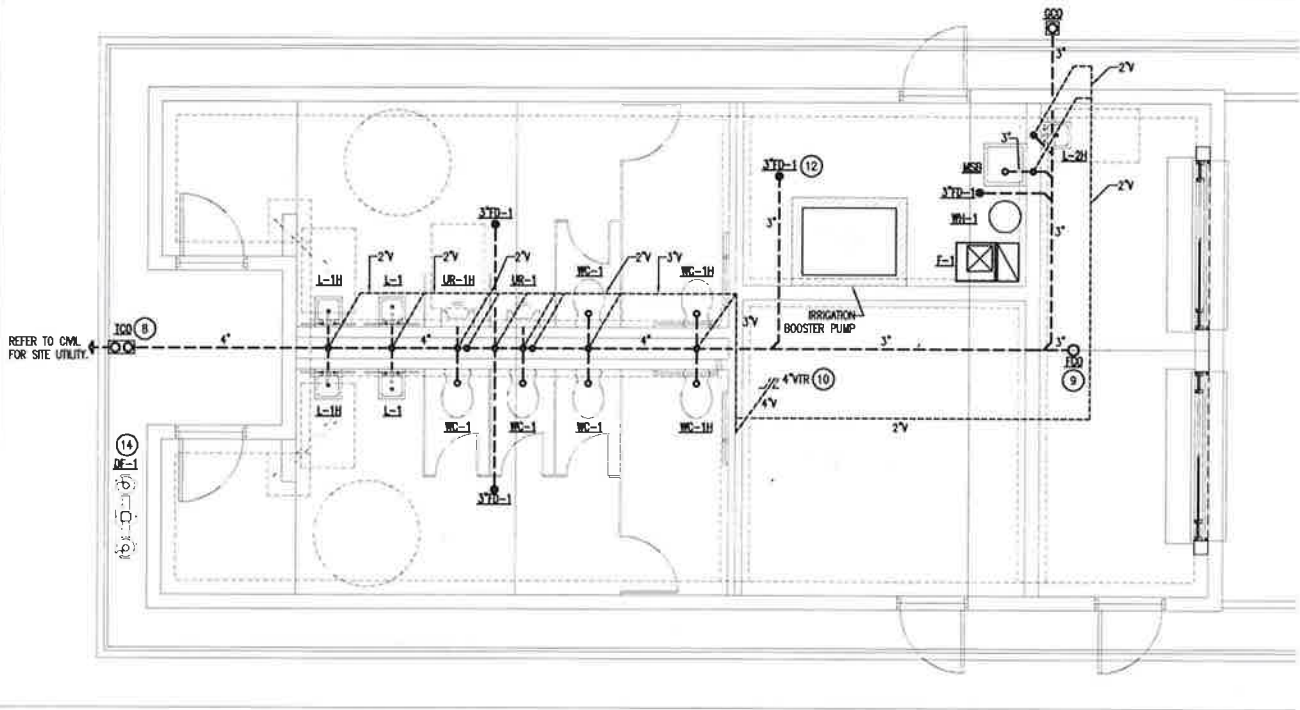
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GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332



4 DOMESTIC WATER PLAN
Scale: 1/4" = 1'-0"
NORTH

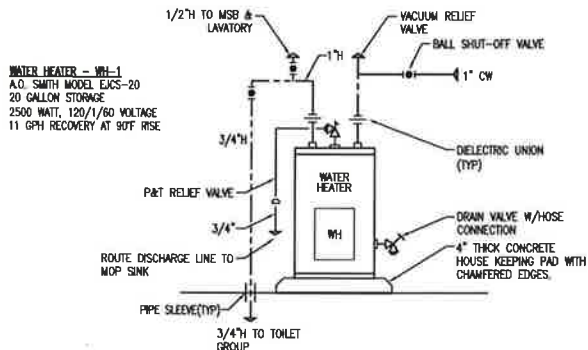


2 WASTE AND VENT PLAN
Scale: 1/4" = 1'-0"
NORTH

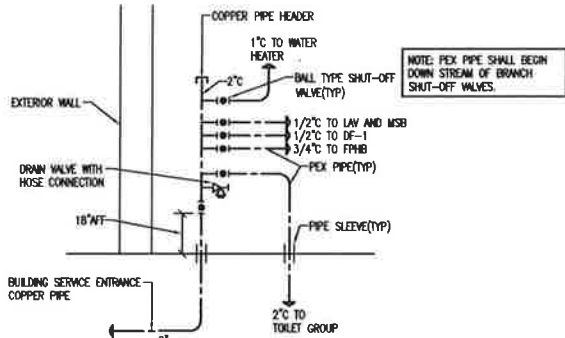
PLUMBING SYMBOL LEGEND	
---	SANITARY SEWER (UNDER FINISHED FLOOR)
---	SANITARY SEWER (ABOVE FINISHED FLOOR)
---	DOMESTIC COLD WATER (C)
---	DOMESTIC HOT WATER (H)
---	PLUMBING VENT
⊘	ELBOW DOWN
⊘	TEE DOWN
⊘	ELBOW UP
⊘	TEE UP
⊘	CAP
⊘	PLUG
⊘	CONNECT TO EXISTING
⊘	FLOOR CLEANOUT
⊘	WCO WALL CLEANOUT
⊘	UNION
⊘	BALL VALVE
⊘	P&T RELIEF VALVE
⊘	SHUT-OFF VALVE IN VERTICAL
⊘	TWIN CLEANOUT
⊘	FLOOR DRAIN
⊘	VENT THROUGH ROOF
⊘	WATER HAMMER ARRESTOR
⊘	FREEZE PROOF HOSE BIBB
⊘	ANGLE VALVE

KEYNOTES: (X)

1. ROUTE COLD WATER PIPE FROM HEADER TIGHT TO CEILING ABOVE MOP SINK. ROUTE HOT WATER BACK TO MSB AND LAVATORY IMMEDIATELY BELOW COLD WATER LINE. NO WATER PIPING SHALL BE ROUTED IN CEILING SPACE.
2. 2" WATER SERVICE LINE TO VERTICAL MANFOLD. PROVIDE BUILDING MAIN SHUT OFF VALVE 18" ABOVE FINISHED FLOOR WITH DRAIN VALVE MOUNTED IMMEDIATELY ABOVE SHUT-OFF VALVE. REFER TO WATER ENTRY RISER/MANFOLD 1/P101. COORDINATE LOCATION OF RISER WITH PUMP HOUSE HEATER AND MOP SINK.
3. PROVIDE ELECTRIC WATER HEATER. REFER TO WATER HEATER DIAGRAM 3/P101.
4. LOCATE 12"x12" INSULATED ACCESS PANEL IN WALL FOR COMPLETE ACCESS OF PIPE RISER VALVES. INSTALL BOTTOM OF ACCESS PANEL IMMEDIATELY ABOVE HOSE BIBB.
5. LOCATE ALL VALVES TO BE FULLY ACCESSIBLE.
6. MOUNT FREEZE PROOF HOSE BIBB 18" ABOVE FINISHED GRADE. PROVIDE BALL VALVE IN RUNOUT TO FPHB.
7. UNDERGROUND WATER PIPING SHALL BE PEX WITH A TRACE WIRE.
8. ALL EXTERIOR CLEANOUTS SHALL BE INSTALLED IN CONCRETE PAD WITH TOP FLUSH WITH FINISHED GRADE. CONCRETE SHALL EXTEND A MINIMUM OF 6 INCHES IN ALL DIRECTIONS OF CLEAN-OUT AND 6 INCHES DEEP.
9. FLOOR CLEAN OUTS SHALL BE FLUSH WITH FLOOR. COORDINATE WITH ARCHITECT FOR FLOOR MATERIAL, FINISH, AND COLOR. CLEAN-OUT SHALL BE INSTALLED NO CLOSER THAN 18" TO ANY WALL AND BE FULLY ACCESSIBLE.
10. VTR SHALL BE A MINIMUM OF 10 FEET AWAY FROM ANY OUTDOOR AIR INTAKES FOR HVAC EQUIPMENT.
11. IRRIGATION SYSTEM COMPONENT SHOWN FOR COORDINATION ONLY.
12. COORDINATE FINAL FLOOR DRAIN LOCATION WITH IRRIGATION BACK FLOW PREVENTER.
13. CONNECT 1/2" COLD WATER LINE TO DRINKING FOUNTAIN FREEZE RESISTANT VALVE SYSTEM CONNECTION. PROVIDE GROUND VALVE BOX FOR ACCESS TO FREEZE RESISTANT VALVE SYSTEM. INSTALL DRINKING FOUNTAIN PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.
14. INSTALL DRINKING FOUNTAIN PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. INSTALL DRAIN FROM FOUNTAIN TO POROUS GRAVEL PIT BENEATH FOUNTAIN. GRAVEL PIT SHALL BE A MINIMUM OF 5 CUBIC FEET OF GRAVEL. COORDINATE WITH ARCHITECT AND OWNER FOR FINAL LOCATION OF FOUNTAIN.



3 WATER HEATER DIAGRAM
NTS



1 WATER ENTRY RISER/MANFOLD
Scale: NTS

REVISION	DATE



PROJECT NO.: 16-00400
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DRAWN BY: DMS,DSP,CMB
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OK 3478 EXP. 04/30/2018

PROJECT TITLE:
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:
PLUMBING PLANS

SHEET NUMBER:
P101

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GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

MECHANICAL SYMBOL LEGEND			
	SUPPLY DIFFUSER, 4-WAY THROW		THERMOSTAT
	RETURN GRILLE		OPPOSED BLADE DAMPER, MOTORIZED
	EXHAUST GRILLE OR FAN		FLEX DUCT RUNOUT
	RUNOUT BALANCE DAMPER		DUCT TRANSITION (ONE LINE)
	ROOF HOOD		

KEYNOTES: (X)

1. INSTALL PUMP HOUSE HEATER EQUAL TO MARKEL MODEL RPH1-SA. PROVIDE HEATER WITH FACTORY INSTALLED INTEGRAL THERMOSTAT. HEATER SHALL PROVIDE 1706 BTU/H OF HEAT AT 120V/1/60 (VOLTS/PHASE/HERTZ) AND DRAW 4.2 AMPS. SET THERMOSTAT TO 55°F. INSTALL HEATER PER MANUFACTURER REQUIREMENTS AND RECOMMENDATIONS. INSTALL BOTTOM OF HEATER AT 18" ABOVE FINISHED FLOOR. COORDINATE LOCATION WITH BUILDING WATER SERVICE RISER.

2. PROVIDE CEILING MOUNTED EXHAUST FAN. INSULATE ALL EXHAUST DUCTWORK.

3. PROVIDE 12x12 ALL ALUMINUM WEATHER PROOF LOUVER WITH DRAINABLE BLADES EQUAL TO RUSKIN ELFB1100 LOUVER SHALL HAVE A MINIMUM FREE AREA OF 0.16FT². BIRD SCREEN BEHIND FACE OF LOUVER. PROVIDE LOUVER WITH INTEGRAL FLANGE. PROVIDE 18" DEEP INSULATED SHEET METAL PLENUM BEHIND LOUVER. SLOPE PLENUM TO DRAIN TO LOUVER. PAINT LOUVER AS DIRECTED BY ARCHITECT. INSTALL TOP OF LOUVER IMMEDIATELY BELOW CEILING.

4. ROUTE OUTDOOR AIR DUCTWORK EXPOSED IN MECHANICAL ROOM. INSULATE OUTDOOR AIR DUCTWORK WITH 2" THICK, 1.5 LBS DENSITY FIBERGLASS DUCT WRAP.

5. TRANSFER GRILLES FOR EXHAUST AIR RELIEF.

6. INSTALL FURNACE ON 24" HIGH RETURN AIR PLENUMS SUPPORT FRAME. SUPPORT FRAME SHALL BE CONSTRUCTED USING ANGLE IRON AND COVERED WITH SHEET METAL ON ALL SIDES. RETURN AIR PLENUM STAND TO BE INTERNALLY LINED ON ALL SIDES WITH 2" THICK, 3 POUND DENSITY DUCT LINER. ALL INSULATION EDGES TO BE BUTTED TIGHT WITH MASTIC COVERING ANY EXPOSED EDGES AND SEAMS. SET UNIT ON VIBRATION ISOLATION PAD BETWEEN UNIT AND FRAME. PROVIDE FILTER RACK BETWEEN PLENUM STAND AND FURNACE.

7. TAP RUNOUT DUCTS TO SUPPLY AND RETURN PLENUM TO TAKE ADVANTAGE OF PRESSURE DIFFERENCE IN PLENUM. LONGEST RUNS TO BE TAPPED AT GREATEST PRESSURE POINTS. SHORT RUNS TO BE TAPPED LOWER ON SIDE OF PLENUM WHERE PRESSURE IS LOWER. THIS METHOD IS TO ASSIST IN PROVIDING BALANCED CAPACITY DUCT DESIGN FOR EQUAL PRESSURE DROP IN RUNOUT DUCTS WITHOUT HAVING TO OVER CLOSE DAMPERS AT REGISTERS.

8. COORDINATE LOCATION OF ALL SUPPLY, RETURN, EXHAUST REGISTERS, HEATERS WITH LIGHTS, STRUCTURE, AND ARCHITECTURAL REFLECTED CEILING PLAN. (TYPICAL THROUGHOUT)

9. COORDINATE FINAL ROUTING OF ALL RETURN, SUPPLY, AND EXHAUST DUCTWORK WITH BUILDING STRUCTURE.

10. PROVIDE HARDWIRED PROGRAMMABLE THERMOSTAT. MOUNT THERMOSTAT 48" ABOVE FINISHED FLOOR. COORDINATE FINAL LOCATION WITH OWNER AND ARCHITECTURAL FEATURES. THERMOSTAT SHALL NOT BE LOCATED IN DIRECT EXPOSURE TO SUPPLY AIR DISCHARGE. PROVIDE THERMOSTAT WITH INSULATED BACK BOX.

11. PROVIDE MOTORIZED OUTSIDE AIR DAMPER. INTERLOCK DAMPER OPERATION WITH FURNACE FAN MOTOR. DAMPER TO OPEN WHEN FURNACE FAN MOTOR IS ON AND CLOSE WHEN FURNACE FAN MOTOR IS OFF. PROVIDE ACCESS PANEL IN HARDUD CEILING AND LOCATE ALL DAMPER FOR COMPLETE ACCESS.

12. PROVIDE MANUAL BALANCE DAMPER IN OUTDOOR AIR DUCT. INSULATE ALL OUTSIDE AIR DUCT WITH A MINIMUM OF 2" DUCTWRAP. SET OUTDOOR AIR VOLUMES AS INDICATED IN FURNACE SCHEDULE.

13. PROVIDE CONDENSATE DRAIN WITH TRAP AT EVAPORATOR COIL DRAIN. ROUTE PRIMARY DRAIN PIPING TO DISCHARGE INTO FLOOR DRAIN. TERMINATE WITH ELBOW DOWN AND 2 INCH AIR GAP. PROVIDE SECONDARY DRAIN OUTLET WITH OVERFLOW SWITCH. COIL CONDENSATE PIPING SHALL BE INSULATED TYPE "M" COPPER OR PVC.

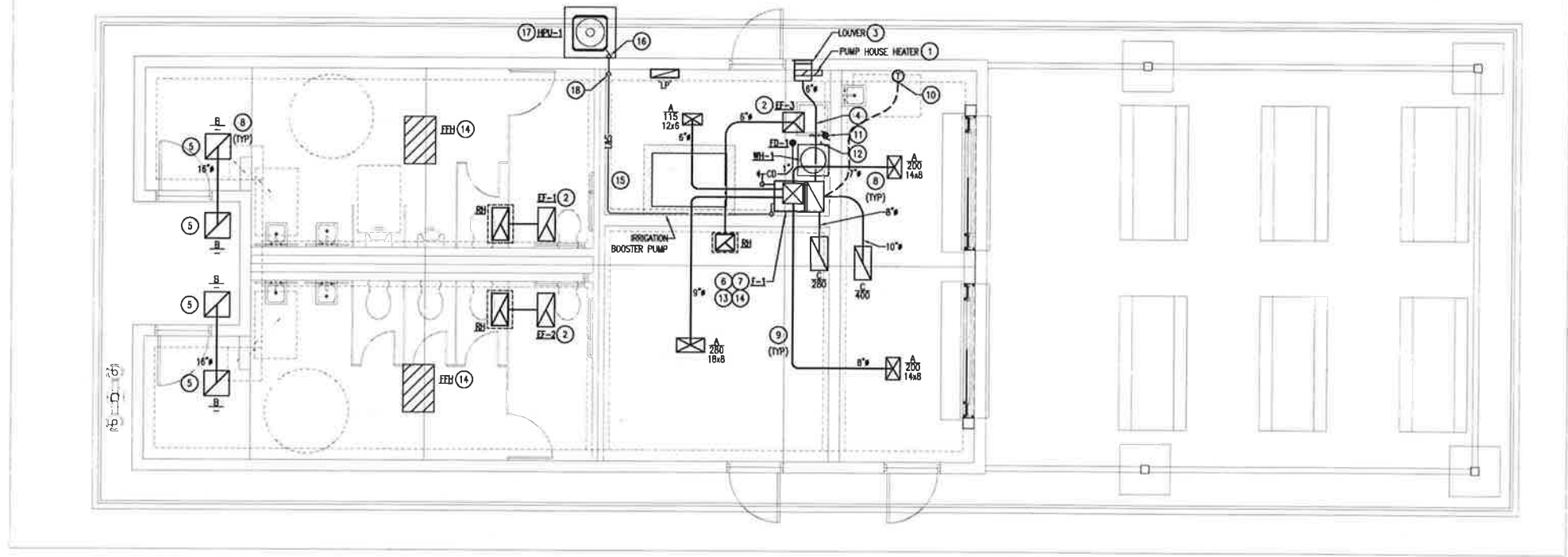
14. INSTALL MARKEL FORCED FAN HEATER SERIES 3380 MODEL HF33860-RP. PROVIDE HEATER WITH INTEGRAL THERMOSTAT. HEATER SHALL PROVIDE 3.0 KILOWATTS (10,200BTUH) OF HEAT AT 208V/1/60 (VOLTS/PHASE/HERTZ) AND DRAW 14.4 AMPS. SET THERMOSTAT TO 55°F. INSTALL HEATER IN GYPSBOARD CEILING. INSTALL HEATER PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

15. ROUTE REFRIGERANT PIPING ABOVE CEILING. SPACE HANGERS BASED ON SMALLEST PIPE SIZE SUPPORTED. SIZE REFRIGERANT LINES PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS FOR FINAL INSTALLED LENGTH.

16. PENETRATE EXTERIOR WALL WITH LIQUID AND SUCTION LINES TO ENTER BUILDING AT 18" ABOVE FLOOR. PROVIDE SLEEVE FOR PENETRATION. SEAL SPACE BETWEEN SLEEVE AND PIPE WITH WATER PROOF CAULKING. PROVIDE ESCUTCHEON AT PENETRATION ON EXTERIOR SIDE OF WALL.

17. SET CONDENSING UNIT ON 4" THICK REINFORCED CONCRETE PAD LEVEL IN ALL DIRECTIONS EXTENDING 6" FROM UNIT IN ALL DIRECTION. LOCATE UNIT IN COORDINATION WITH MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS FOR SERVICE AND AIRFLOW.

18. ROUTE LIQUID AND SUCTION LINES ON EXTERIOR WALL IN MECHANICAL ROOM. SECURE LINES TO WALL WITH UNISTRUT AND STRAPPING. PENETRATE CEILING OF MECHANICAL ROOM TO ENTER ATTIC SPACE. SEAL PENETRATION WITH CAULK AND PROVIDE ESCUTCHEON AT PENETRATION.



1 HVAC PLAN
Scale: 1/4" = 1'-0"
NORTH

REVISION	DATE



PROJECT NO.:	16-00400
FILE:	
ISSUE DATE:	09.02.16
SCALE:	AS NOTED
DRAWN BY:	DMS,DSP,GM
CHECKED BY:	OJM,JKM
APPROVED BY:	GDG,TEM

ARCHITECT:

GS HELMS
+ ASSOCIATES

ph: 918.298.7257 | 424 e. main st.
wb: gshelms.com | jenks, ok 74037

CONSULTANT:

AEB
AIR conditioning engineering, LLC

1401 SOUTH DENVER STREET, SUITE A, TULSA, OK 74119
(918) 384-2653 FAX (918) 384-3186 [aeblc.com](mailto:info@aeblc.com)
OK 3479 EXP. 06/30/2018

PROJECT TITLE:

CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

HVAC PLAN

SHEET NUMBER:

M101

LIGHT FIXTURE SCHEDULE					
FIXTURE/TYPE	MANUFACTURER CATALOG NUMBER	VOLTS WATTS	LAMPS TYPE	MOUNTING	DESCRIPTION
 A	COOPER LIGHTING: HML12-4-LD4-LD-40-UNY-0-EDC-1S-S-WRSD	120 52.4	LED 4000 LUMENS 4000K, 85CR8	SURFACE. PROVIDE PM OPTION FOR MOUNTING FROM BUILDING SUPERSTRUCTURE IN ROOMS WITH OPEN CEILING	LED 1'x4', PROVIDE WRSD ACCESSORY
 B	HALO: P0630-D010-POMGA-B40-61Y-WB-WF	120 36.4	LED DOWN LIGHT	RECESSED	RECESS FIXTURE IN METAL SOFFIT PANELS. REFER TO REMODEL INSTALLATION FOR MAINTENANCE ACCESSIBILITY.
 C	ECLIPSE LIGHTING: 504-LED350-4K-EBU-WH-GC	120 50	LED 4000K	SURFACE	SURFACE MOUNT FIXTURE AT 7' ABOVE AFF.
 F	LUMARK: LDRV-SL4-ED4-E-7050-BZ VALMONT POLE: DS220-525A200-DX	277 198	(2) BACK TO BACK 99W LED	POLE	SITE POLE LIGHTING
 F1	LUMARK: LDRV-SL4-ED4-E-7050-HSS-BZ VALMONT POLE: DS220-525A200-DX	277 98	(1) 99W LED	POLE	SITE POLE LIGHTING
 EM	CHAMPION: CP-EMW-B-LED-SA-	120 8	LED	WALL/SURFACE	EMERGENCY EGRESS LIGHT. 5 YEAR WARRANTY. PROVIDE IMPACT RESISTANT SHIELD.
 P1 THRU P9	MUSCO LIGHTING: L50-1500-MZ-60-0 MUSCO POLES: MOUNTING HEIGHT 60'	480 9,000	POLES P4,P5,P6 (12) BACK TO BACK 1500W METAL HALIDE & POLES P1,P2,P3,P7,P8&P9 (6) 1500W METAL HALIDE	POLE	SOCCER COMPLEX LIGHTING

GENERAL NOTES:

A) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ACCESSORIES REQUIRED FOR COMPLETE FIXTURE PACKAGE SHOWN ON SCHEDULES, DETAILS, PLANS, AND SPECIFICATIONS.

B) CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL WORK AND ACCESSORIES REQUIRED BY FIXTURE SUBSTITUTIONS.

C) CONTRACTOR SHALL BE RESPONSIBLE FOR DIMMING BALLAST REQUIRED ON COMPACT FLUORESCENT FIXTURES DENOTED BY DIMMER SWITCH PER ELECTRICAL SYMBOLS LEGEND.

D) PROVIDE DRYWALL/PLASTER NOT FOR FIXTURES MOUNTED IN GYP BOARD CEILINGS PER ARCHITECTS REFLECTED CEILING PLAN.

E) LIGHT FIXTURE SUBSTITUTIONS SHALL BE SUBMITTED 10 DAYS PRIOR TO BID DATE. SUBSTITUTIONS SHALL BE DELIVERED AS A COMPLETE PACKAGE. ALL SUBSTITUTIONS SHALL MEET OR EXCEED PRODUCT IN STYLE, CONSTRUCTION AND PERFORMANCE. POINT BY POINT FOOT CANDLE CALCULATIONS SHALL BE SUBMITTED FOR THE AREA LAYOUT AS INDICATED ON PLAN VIEW DRAWINGS. ELECTRONICS DRAWINGS WILL NOT BE PROVIDED.

- [illegible]



ARCHITECT:

GS HELMS
+ ASSOCIATES

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wb: gehelms.com | jenkins, ok 74037



SHEET NUMBER:

E001



11. EXHAUST FANS: ENERGIZE EXHAUST FAN WITH LIGHTING CIRCUIT IN CORRESPONDING AREA.
12. EGRESS LIGHTS: EXIT AND EMERGENCY LIGHT FIXTURES SHALL BE WIRED AHEAD OF SWITCHING.
13. REFLECTED CEILING PLAN: COORDINATE FINAL LOCATIONS OF ALL LIGHTS WITH SUPPLY, RETURN AND EXHAUST GRILLES, AND ARCHITECTURAL REFLECTED CEILING PLAN. (TYPICAL THROUGHOUT)
14. LIGHTING TIME CONTROLLER: INTERCONNECT ALL TYPE 'B' FIXTURES THROUGH TIME CONTROLLER. COORDINATE WITH OWNER FOR EXACT ON & OFF TIME SETTINGS.
15. LIGHTING WIRING SHALL NOT BE LONGER THAN 8'.
16. CEILING FAN: PROVIDE 50 POUND RATED FAN BOX TO SUPPORT CEILING FAN. CEILING FAN SHALL BE PROVIDED BY OTHERS.

#	REVISION
	DATE



PROJECT NO.: 16-00400
FILE:
ISSUE DATE: 09.02.16
SCALE: AS NOTED
DRAWN BY: DMS,DSP,GMB
CHECKED BY: OJM,JKM
APPROVED BY: GDG,TEM

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918-445-6503/7744 (918) 384-3186 ALUMINUM@AEG.CO
CA 3479 EXP. 06/30/2018

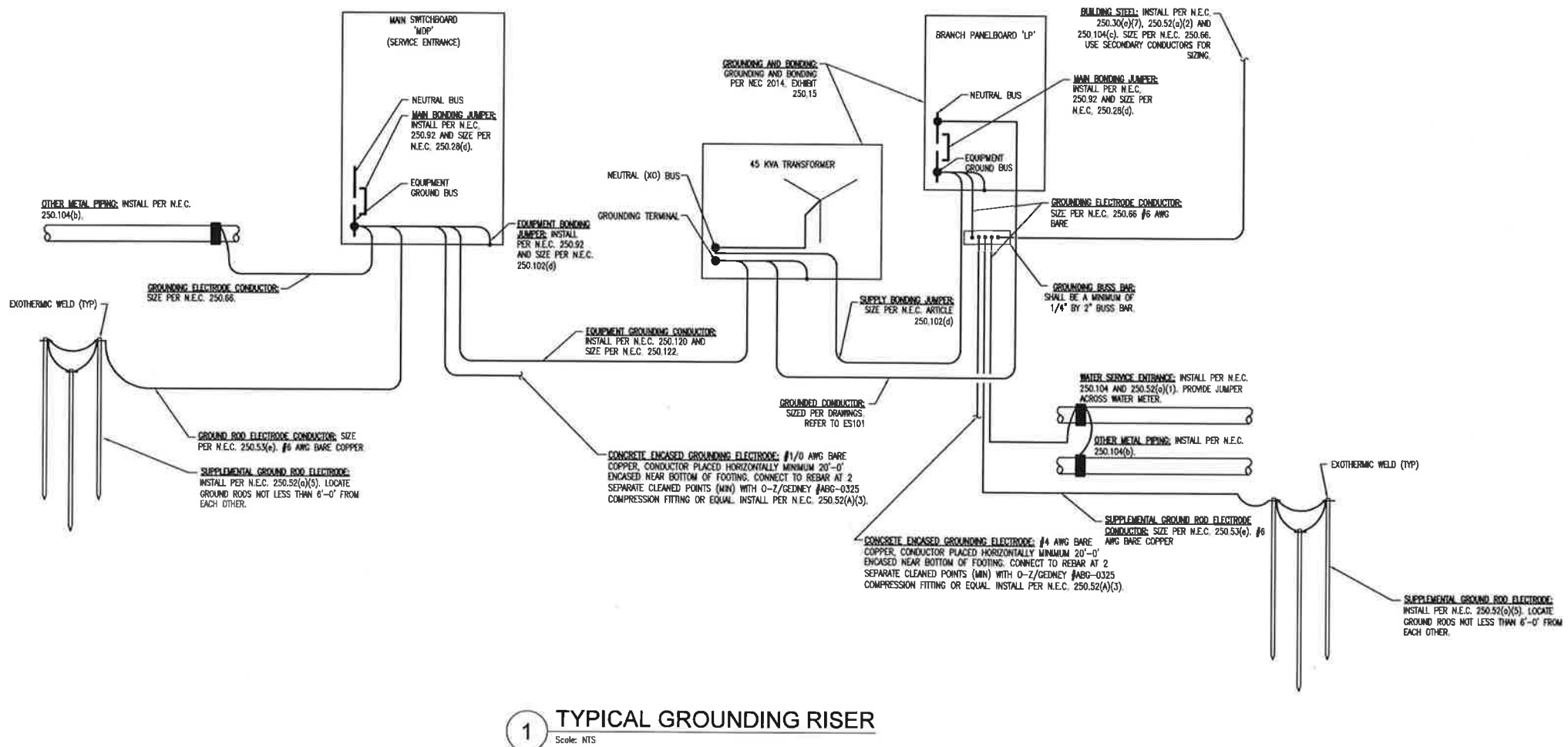
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

LIGHTING AND POWER PLANS

E101

Z:\2016\Gray Helms\Glenpool Soccer Complex\DWG\E201.dwg, 9/2/2016 3:08:48 PM, dawns

GSHELMS & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332



REVISION	DATE



PROJECT NO.: 16-00400
FILE:
ISSUE DATE: 09.02.16
SCALE: AS NOTED
DRAWN BY: DMS,DSP,OMB
CHECKED BY: OJM,JKM
APPROVED BY: GDO,TEM

ARCHITECT:

GS HELMS + ASSOCIATES

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wb: gshelms.com jenks, ok 74037

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(918) 384-0953 / FAX (918) 384-3188 info@aeginc.com
CA 3179 ISO: 9001/2015

PROJECT TITLE: CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE: ELECTRICAL DETAIL

SHEET NUMBER:
E201

SURFACE MOUNTED
GROUND BAR
NEMA 1 ENCLOSURE

NEW PANELBOARD 'LP'

VOLT: 208Y/120/3W/4 WRC
AMPS: 125 AMPS, 100A
MCB 22,000

CKT	DESCRIPTION	BKRK	PL	KVA	PHASE	KVA	PL	BKRK	DESCRIPTION	CKT
1	LIGHT FIXTURES	20	1	1.10	A	1.00	1	20	LIGHT FIXTURES	2
3	RESTROOM/OUTSIDE GFCI'S	20	1	0.54	B	0.50	1	20	MEN'S AUTO FLUSH	4
5	WOMEN'S AUTO FLUSH	20	1	0.50	C	0.18	1	20	RECEPTILES	6
7	EQUIPMENT ROOM RECEPTILES	20	1	0.72	A	0.72	1	20	REFEREE ROOM RECEPTILES	8
9	DEDICATED CONCESSION RECEPTACLE	20	1	1.92	B	1.92	1	20	DEDICATED CONCESSION RECEPTACLE	10
11	DEDICATED CONCESSION RECEPTACLE	20	1	1.92	C	1.92	1	20	DEDICATED CONCESSION RECEPTACLE	12
13	WH-1	30	1	2.50	A	2.18	2	30	FCU-1	14
15	CONCESSION RECEPTACLE	20	1	0.54	B	2.18	-	-	-	15
17	FHH	25	2	1.50	C	0.10	1	20	SPARE	18
19	-	-	-	1.50	A	0.10	1	20	SPARE	20
21	FHH	25	2	1.50	B	1.25	2	20	HPU-1	22
23	-	-	-	1.50	C	1.25	-	-	-	24
25	STADIUM CONTRACTOR CONTROLS POWER	20	1	0.50	A	0.50	1	20	PUMP HOUSE HEATER	26
27	CONCESSION SEATING AREA GFCI'S	20	1	0.54	B	0.10	1	20	SPARE	28
29	SPARE	20	1	0.10	C	0.10	1	20	SPARE	30
31	SPARE	20	1	0.10	A	2.00	3	30	IRRIGATION PUMP	32
33	SPARE	20	1	0.10	B	2.00	-	-	-	34
35	SPARE	20	1	0.10	C	2.00	-	-	-	36
37	SPARE	20	1	0.10	A	0.50	1	20	IRRIGATION CONTROL PANEL	38
39	SPARE	20	1	0.10	B	0.10	1	20	SPARE	40
41	SPARE	20	1	0.10	C	0.10	1	20	SPARE	42

	KVA	AMPS
PHASE A	13.52	112.87
PHASE B	13.29	110.75
PHASE C	11.37	94.75

	KVA	AMPS
CONNECTED	38.10	105.98
FEEDER	-	-

PROJECT NO.:	16-00400
FILE:	
ISSUE DATE:	09.02.16
SCALE:	AS NOTED
DRAWN BY:	DMS,DSP,GBE
CHECKED BY:	OJM,JKM
APPROVED BY:	DDG,TEJ

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304-699-7791 (T118) 304-3180 info@aegroup.com
CA 3470 EXP. 08/30/2018

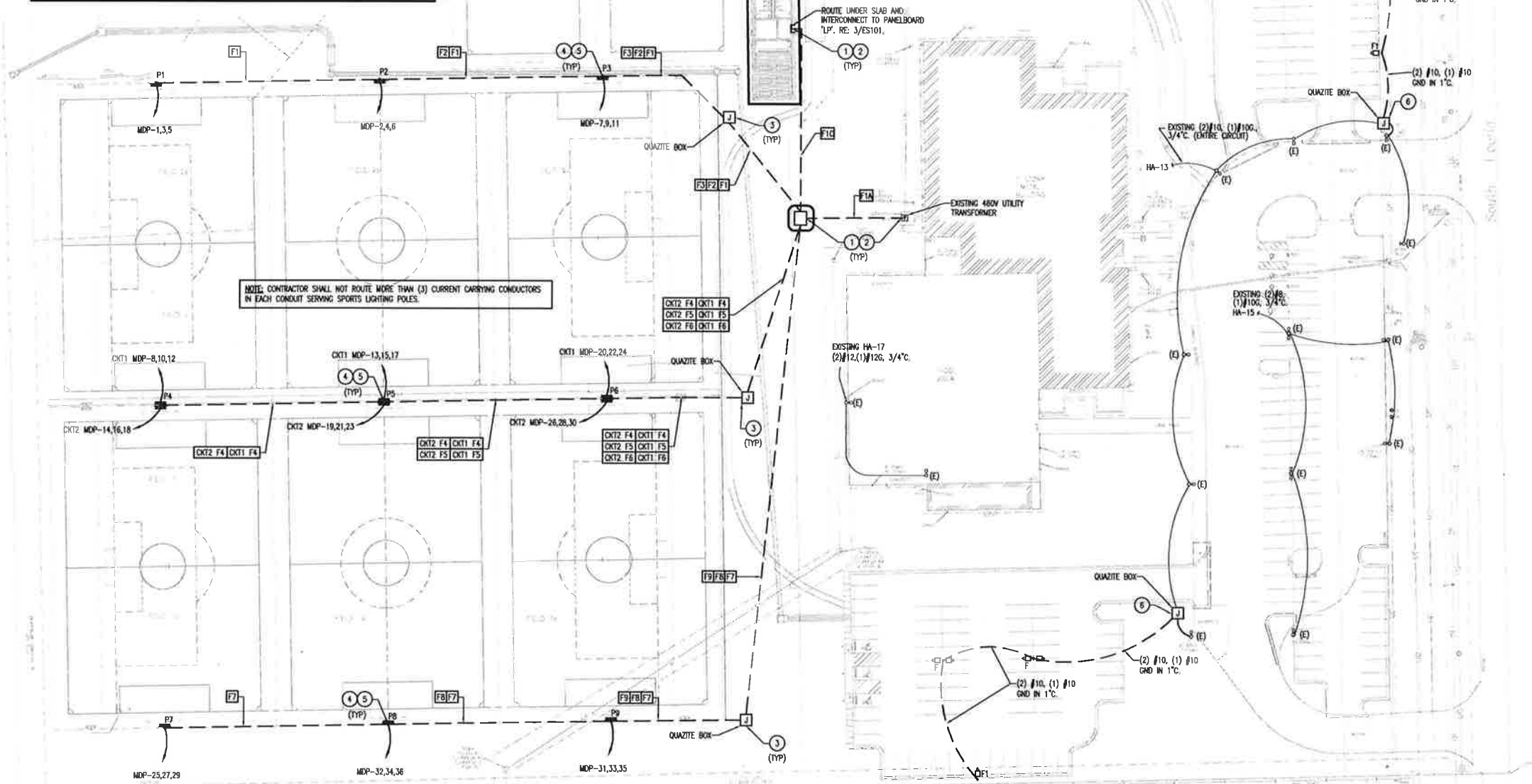
SHEET TITLE:

PANELBOARDS

E301

FX RISER FEEDER SCHEDULE				
MARK	AMPACITY	CONDUCTORS	CONDUIT	VD%
F1A	400	(4) #600kcmil-CU	4"	0.7%
F1B	65	(3) #6, (1) #10 GND	1"	0.1%
F1C	125	(4) #1, (1) #6 GND	1-1/2"	1.9%
F1	14.8	(3) #10, (1) #10 GND	1"	3.2%
F2	14.8	(3) #10, (1) #10 GND	1"	2.2%
F3	14.8	(3) #10, (1) #10 GND	1"	1.3%
F4 CKT1	14.8	(3) #10, (1) #10 GND	1"	3.2%
F4 CKT2	14.8	(3) #10, (1) #10 GND	1"	3.2%
F5 CKT1	14.8	(3) #10, (1) #10 GND	1"	2.5%
F5 CKT2	14.8	(3) #10, (1) #10 GND	1"	2.5%
F6 CKT1	14.8	(3) #10, (1) #10 GND	1"	1.5%
F6 CKT2	14.8	(3) #10, (1) #10 GND	1"	1.5%
F7	14.8	(3) #8, (1) #8 GND	1"	3.1%
F8	14.8	(3) #8, (1) #8 GND	1"	2.5%
F9	14.8	(3) #10, (1) #10 GND	1"	2.8%

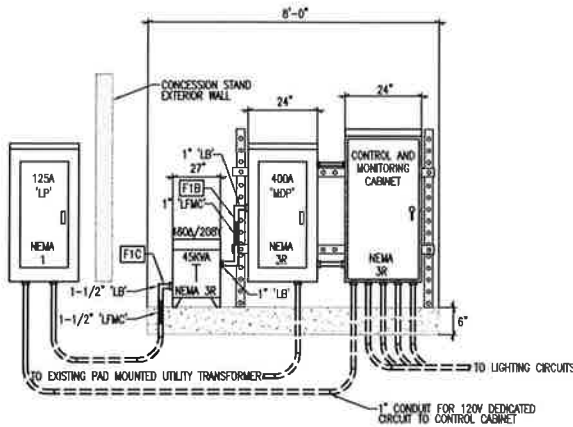
NOTE: REFER TO 1/ES101 AND 3/ES101 FEEDER SIZE IDENTIFICATION.



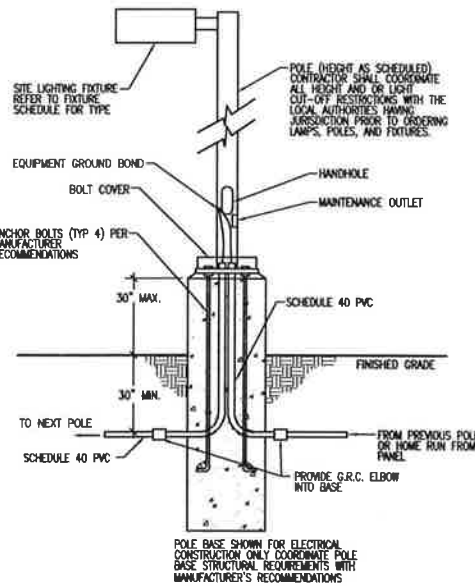
1 ELECTRICAL SITE PLAN
Scale: 1" = 40'-0"

KEYNOTES: (X)

- EXISTING 480V UTILITY TRANSFORMER: ROUTE (1) NEW 4" UNDERGROUND CONDUIT AND CONDUCTORS TO EXISTING 480V UTILITY TRANSFORMER, COORDINATE WITH COMMUNITY CENTER AND UTILITY COMPANY FOR SHUT-DOWN TO INSTALL NEW CONDUIT AND CONDUCTORS TO ENERGIZING NEW 400A, 480V, 'MDP'.
- UNDERGROUND UTILITIES: PROVIDE FIRM AND UNIFORM SUPPORT FOR DIRECT BURIED CONDUIT. PROVIDE PVC BURIED 36" DEEP ON SECONDARY SIDE. INSTALL RIGID STEEL CONDUIT ELBOWS FOR STUB-UPS AT ELECTRICAL EQUIPMENT/PANELBOARDS, AND AT BUILDING ENTRANCE.
- PRECAST HANDHOLES AND BOXES: PROVIDE PRECAST POLYMER CONCRETE ELECTRICAL QUARTZITE ENCLOSURES IN LOCATIONS SHOWN FOR PULL BOXES.
- SPORTS LIGHTING POLE: VERIFY EXACT LOCATION OF POLE WITH CIVIL DRAWINGS. REFER TO SPORTS LIGHTING VENDOR FOR POLE LIGHT BASE INSTALLATION INSTRUCTIONS. STRUCTURAL STAMPED PRECAST CONCRETE POLE BASE FOUNDATION DESIGN SHALL BE PROVIDED BY THE SELECTED LIGHTING VENDOR.
- SPORTS LIGHTING CONDUCTOR: ROUTE UNDERGROUND CONDUITS, CONDUCTORS, AND RIGID STEEL ELBOWS STUB-UPS FROM LIGHTING CONTACTOR CABINET TO QUARTZITE BOXES AND TO SPORTS LIGHTING POLE ELECTRICAL ENCLOSURE. REFER TO SPORTS LIGHTING VENDOR FOR EXACT WIRING REQUIREMENTS.
- NEW PARKING LOT LIGHTING: PROVIDE NEW QUARTZITE BOX AND INTERCEPT EXISTING 277V CIRCUIT SERVING EXISTING PARKING LOTS LIGHTS TO ENERGIZED NEW POLE LIGHTS INDICATED ON DRAWINGS. CONTRACTOR SHALL PROVIDE NSI EASY SPLICE DIRECT BURIAL/SUBMERSIBLE SPLICE KIT: GEL STUB 10 TO INTERCONNECT TO EXISTING CONDUCTORS.



3 ELECTRICAL SERVICE PEDESTAL
Scale: NTS



2 LIGHT POLE DETAIL
Scale: NTS

REVISION	DATE



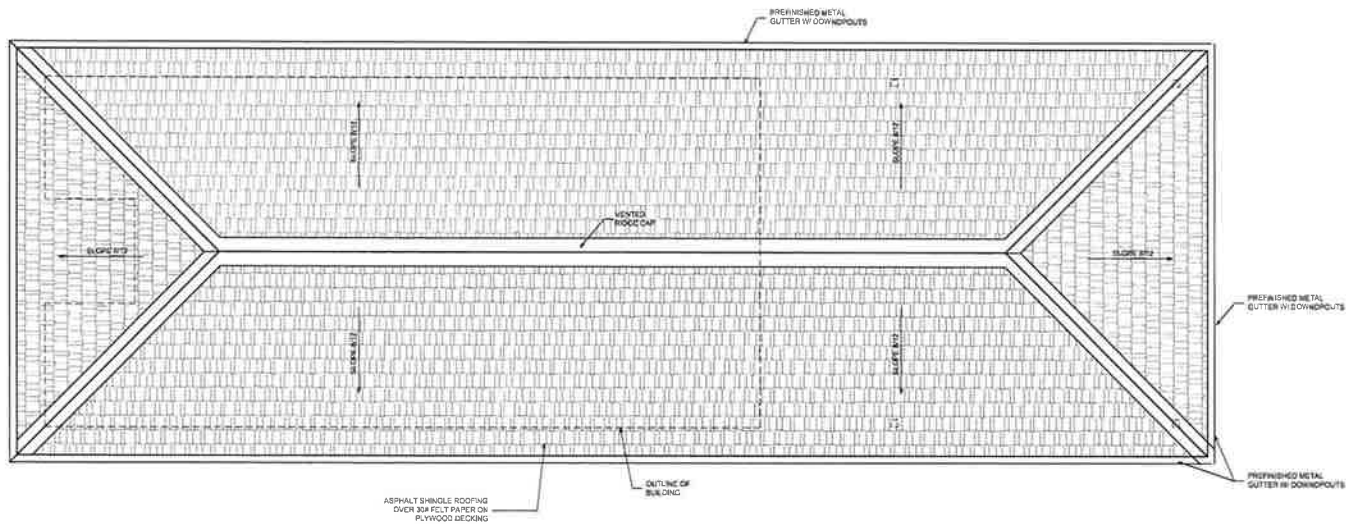
PROJECT NO.: 16-00400
FILE:
ISSUE DATE: 09.02.16
SCALE: AS NOTED
DRAWN BY: DMS,DSP,GMB
CHECKED BY: OJM,JKM
APPROVED BY: GDG,TEM

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wb: gshelms.com | jenks, ok 74037

CONSULTANT:
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1401 SOUTH OXFORD STREET, SUITE A, TULSA, OK 74119
(918) 264-5547 FAX (918) 264-3136 E: AEB@AEB2.COM
OK 5419 EXP. 06/30/2019

PROJECT TITLE: CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
SHEET TITLE: ELECTRICAL SITE PLAN

SHEET NUMBER:
ES101



1 ROOF PLAN

SCALE: 1/8"=1'-0"



GSH&A ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 02332

C	PROCESS SET	08.04.19
R	REVISION	DATE

SEALS:

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NO.	16-00400
FILE:	16-00400 A1-2
ISSUE DATE:	08.04.19
SCALE:	AS NOTED
DRAWN BY:	GGH
CHECKED BY:	GGH
APPROVED BY:	GGH

ARCHITECT:

GS HELMS
+ ASSOCIATES

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wb. gshelms.com jones, ok 74037

PROJECT TITLE:

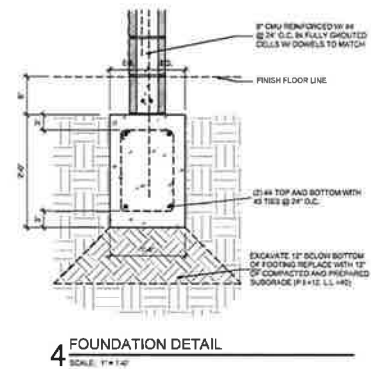
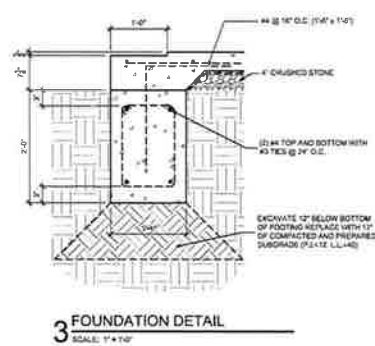
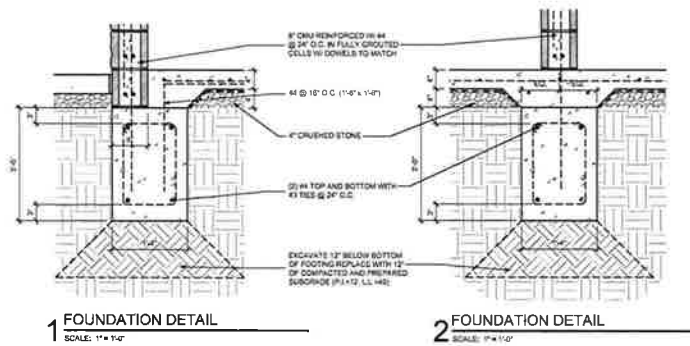
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK

SHEET TITLE:

ROOF PLAN & ENLARGED DETAILS

SHEET NUMBER:

A1.2



GENSLER & ASSOCIATES, L.L.C. ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 22227

#	REVISION	DATE
1	PROPOSED SET	08.04.18

SEAL:

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NO.:	15-05403
FILE:	15-05403 A14
ISSUE DATE:	08.04.18
SCALE:	AS NOTED
DRAWN BY:	GGH
CHECKED BY:	GGH
APPROVED BY:	GGH

ARCHITECT:

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+ ASSOCIATES

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PROJECT TITLE:

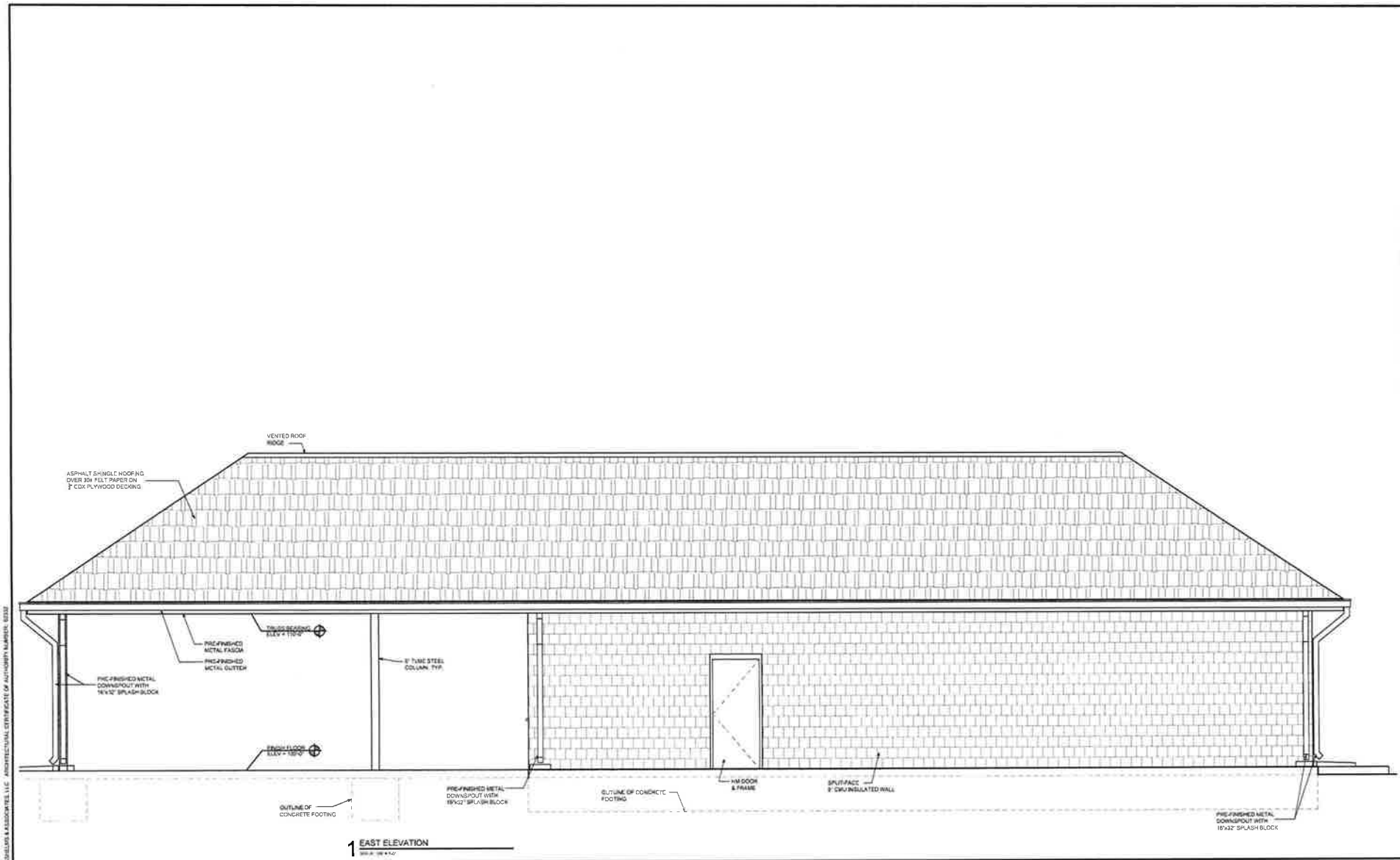
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEDRIA AVENUE GLENPOOL, OK

SHEET TITLE:

DETAILS

SHEET NUMBER:

A2.1



C	PROJECT SET	08.24.18
1	REVISION	DATE

SEALS:

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NO.:	18-00400
FILE:	18-00400-A3
ISSUE DATE:	08.24.18
SCALE:	AS NOTED
DRAWN BY:	GDH
CHECKED BY:	GDH
APPROVED BY:	GDH

ARCHITECT

GS HELMS
+ ASSOCIATES

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PROJECT TITLE:

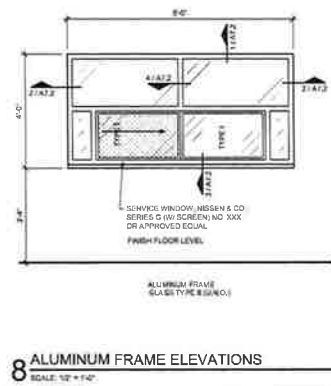
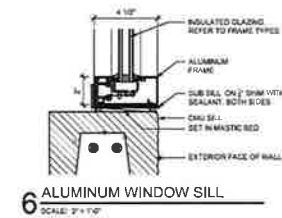
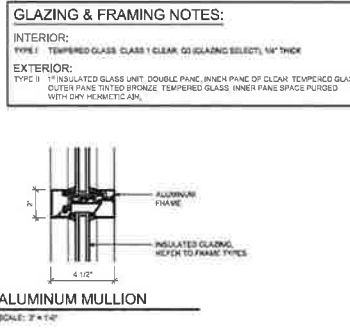
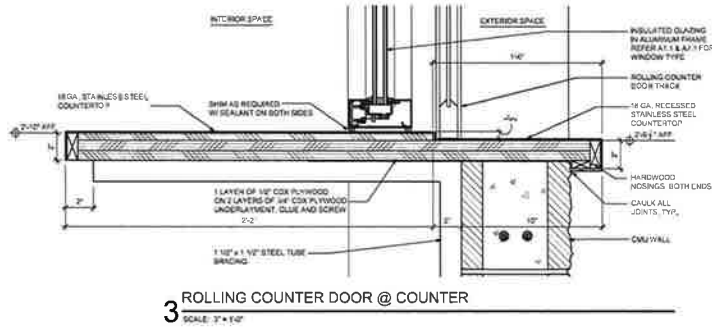
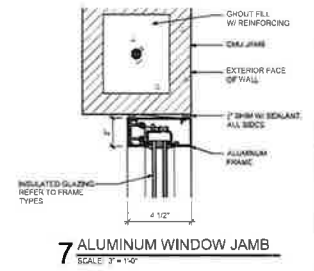
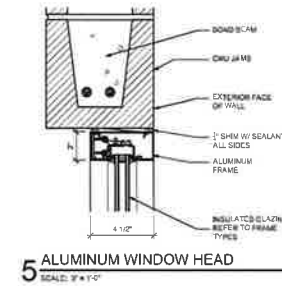
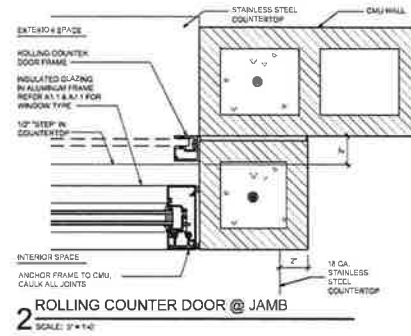
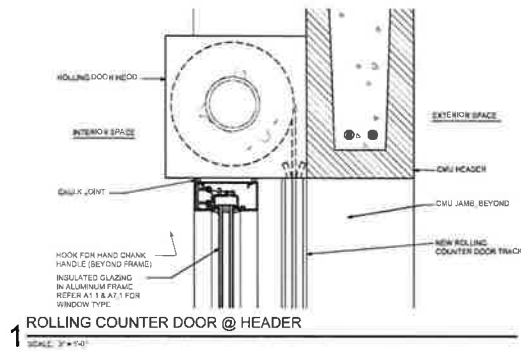
CITY OF GLENPOOL, OKLAHOMA
**SOUTH COUNTY RECREATION CENTER
 SOCCER COMPLEX**
 13800 SOUTH PEORIA AVENUE | GLENPOOL, OK

PROJECT FILE:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A3.2



GLAZING & FRAMING NOTES:

INTERIOR:
TYPE 1: TEMPERED GLASS CLASS 1 CLEAR (GG GLAZING SELECT), 1/4" THICK

EXTERIOR:
TYPE 2: 1/4" INSULATED GLASS UNIT, DOUBLE PANE, INNER PANE OF CLEAR TEMPERED GLASS, OUTER PANE TINTED BRONZE, TEMPERED GLASS, INNER PANE PURGED WITH DRY NITROGEN GAS.

CONCUR & ASSOCIATES, LLC ARCHITECTURAL CERTIFICATE OF AUTHORITY NUMBER: 00330

C	PROPOSED SET	08.04.18
D	REVISION	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NO:	18-00430
FILE:	18-00430 A7.2
ISSUE DATE:	08.04.18
SCALE:	AS NOTED
DRAWN BY:	GGH
CHECKED BY:	GGH
APPROVED BY:	GGH

ARCHITECT:
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+ ASSOCIATES
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w: gs-helms.com
jenks, ok 74037

PROJECT TITLE:
CITY OF GLENPOOL, OKLAHOMA
SOUTH COUNTY RECREATION CENTER
SOCCER COMPLEX
13800 SOUTH PEORIA AVENUE GLENPOOL, OK
SHEET TITLE:
ALUMINUM FRAME ELEVATIONS &
WINDOW DETAILS

SHEET NUMBER:
A7.2



MEMORANDUM

TO: HONORABLE MAYOR and CITY COUNCIL

**FROM: LYNN BURROW, PE
COMMUNITY DEVELOPMENT DIRECTOR**

**RE: ACCEPTANCE of PUBLIC WATERLINE IMPROVEMENTS
SERVING WHAT-A-BURGER RESTURANT**

DATE: OCTOBER 6, 2016

BACKGROUND

This item is for Council consideration and action regarding the acceptance, ownership, and associated maintenance responsibilities pertaining to certain public waterline improvements installed to serve the newly completed What-a-Burger Restaurant facility at 12110 South Waco Avenue in Southwest Crossroads Addition per the attached site plan document. The specific improvements covered by this request are related to the installation of approximately 80 lf. of 8" ID waterline piping, an associated roadway bore, and miscellaneous fittings installed by Atkinson & Associates Builders as part of the site improvements necessary to provide adequate domestic water service and fire protection for this facility. The Community Development Staff inspected these improvements during construction and have received and approved all required testing results. The subject public improvements have been covered by the required one year maintenance bond per the attached copy. The bonded amount for the improvements is based on an Engineer's Statement of Cost for the improvement as was supplied by the Project Engineer. Record Drawings covering the installation of the public waterline improvements have also been received and approved by Staff as required prior to final acceptance by the City.

Recommendation:

At this time, Staff is asking Council consideration and approval to accept the ownership and maintenance of the public waterline improvements serving the subject property.

Attachments:

- A. 'As-Built' Waterline Plan
- B. One Year Maintenance Bond
- C. Letter of Request



P.O. Box 820 – 307 E. Houston St.
Edna, TX 77957-0820
Voice = (361) 782-6027
Fax = (361) 782-6037

Whataburger Restaurant 12110 S. Waco Ave.
Glenpool OK 74033
Public Water Line Extension Acceptance

October 5, 2016

Mr. Lynn Burrow, City Engineer
City of Glenpool
12205 S. Yukon Ave
Glenpool, Oklahoma 74033

Re: Permit No. WL000072160734
WhataBurger Restaurant Potable Water Line Extension
Facility No. 3007223

Dear Mr. Burrow:

Permit No. WL000072160734 for the construction of 78 linear feet of eight (8) inch PVC potable water line to serve the Whataburger Restaurant, Tulsa County, Oklahoma.

The project authorized by this permit is constructed in accordance with the plans approved by this department on September 14, 2016. Please allow this letter to sever as the request for the City of Glenpool to accept the public water line extension that is servicing the Whataburger Restaurant located at 12110 S. Waco Ave. Glenpool, OK 74033.

A handwritten signature in blue ink that reads "Martin Hill".

Respectfully,
Martin Hill
Vice President
Edna Lumber Company, Inc.
dba Atkinson & Associates Builders
P.O. Box 820
Edna, TX 77957
Office: 361-782-6027
Fax: 361-782-6037
Cell: 361-220-0411
martin.hill@atkinsonbuilders.com



MAINTENANCE BOND
601110890

KNOW ALL MEN BY THESE PRESENTS, that we, McCulloch Excavation, Inc.

as Principal, and The Ohio Casualty Insurance Company, as Surety, are held and firmly bound unto
The City of Glenpool, OK

(hereinafter called the Oblige), in the penal sum of Eight Thousand Dollars And Zero Cents

Dollars \$8,000.00

for the payment of which, well and truly to be made, we do hereby bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

Dated: September 29, 2016

WHEREAS, the said Principal has heretofore entered into a contract with the Oblige for Waterline Extension to
Serve Whataburger and,

WHEREAS, the work called for under said contract has now been completed and accepted by said Oblige;

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall for a
Principal shall for a period of One (1) years from and after the date of the completion of the contract indemnify
the Oblige against any loss or damage directly arising by reason of any defect in the material or workmanship that may
be discovered within the period aforesaid, then this obligation shall be void; otherwise to remain in full force and effect.

PROVIDED, HOWEVER, that in the event of any default on the part of the Principal, written statement of the
particular facts showing such default and the date thereof shall be delivered to the Surety by registered mail, at its
home office in the city of Keene, New Hampshire promptly and in any event within ten (10) days after the Oblige or
his representative shall learn of such default; and that no claim, suit or action by reason of any default of the Principal
shall be brought hereunder after the expiration of thirty days from the end of the maintenance period as herein set
forth.

McCulloch Excavation, Inc.

(Principal)

By: Debra J. McCulloch

The Ohio Casualty Insurance Company

By: Carla Carter
Carla Carter
(Attorney-in-Fact)

POWER OF ATTORNEY
The Ohio Casualty Insurance Company

Bond Number: **601110890**

Principal: McCulloch Excavation, Inc.

Agency Name: TEDFORD & ASSOCIATES, LLC

Obligee: The City of Glenpool, OK

Agent Code: **350932**

Know All Men by These Presents: That The Ohio Casualty Insurance Company, pursuant to the authority granted by Article IV, Section 12 of the Code of Regulations and By-Laws of The Ohio Casualty Insurance Company, do hereby nominate, constitute and appoint Mark A. Tedford, Michael Tedford, Barry Herring, Shannon D. Nicholas, Vicky Jarvis, Jacque Brown, Carla Carter, Jane Hendon, Amy Lambert of JENKS, Oklahoma its true and lawful agent(s) and attorney(ies)-in-fact, to make, execute, seal and deliver for and on its behalf as surety, and as its act and deed any and all BONDS, UNDERTAKINGS and RECOGNIZANCES, excluding, however, any bond(s) or undertaking(s) guaranteeing the payment of notes and interest thereon.

And the execution of such bonds or undertakings in pursuance of these presents, shall be as binding upon said Company, as fully and amply, to all intents and purposes, as if they had been duly executed and acknowledged by the regularly elected officers of said Company at their administrative offices in Keene, New Hampshire, in their own proper persons. The authority granted hereunder supersedes any previous authority heretofore granted the above named attorney(ies)-in-fact.

IN WITNESS WHEREOF, the undersigned officer of the said The Ohio Casualty Insurance Company has hereunto subscribed his name and affixed the Corporate Seal of said Company this 26th day of September, 2016.



David M. Carey
David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA
COUNTY OF MONTGOMERY

On this 26th day of September, 2016 before me, a Notary Public of the State of Pennsylvania, in and for the County of Montgomery, duly commissioned and qualified, came David M. Carey, Assistant Secretary of The Ohio Casualty Insurance Company, to me personally known to be the individual and officer described in, and who executed the preceding instrument, and he acknowledged the execution of the same, and being by me duly sworn deposes and says that he is the officer of the Company aforesaid, and that the seal affixed to the preceding instrument is the Corporate Seal of said Company, and the said Corporate Seal and his signature as officer were duly affixed and subscribed to the said instrument by the authority and direction of the said Corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my Official Seal at the City of King of Prussia, State of Pennsylvania, the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Theresa Kostella, Notary Public
Upper Merion Twp., Montgomery County
My Commission Expires March 28, 2017
Member, Pennsylvania Association of Notaries

Theresa Kostella
Notary Public in and for County of Montgomery, State of Pennsylvania
My Commission expires March 28, 2017

This power of attorney is granted under and by authority of Article IV, Section 12 of the By-Laws of The Ohio Casualty Insurance Company, extracts from which read:

ARTICLE IV - Officers, Section 12. Power of Attorney

Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bond, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary.

Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

This certificate and the above power of attorney may be signed by facsimile or mechanically reproduced signatures under and by authority of the following vote of the board of directors of The Ohio Casualty Insurance Company effective on the 15th day of February, 2011:

VOTED that the facsimile or mechanically reproduced signature of any assistant secretary of the company, wherever appearing upon a certified copy of any power of attorney issued by the company in connection with surety bonds, shall be valid and binding upon the company with the same force and effect as though manually affixed.

CERTIFICATE

I, the undersigned Assistant Secretary of The Ohio Casualty Insurance Company, do hereby certify that the foregoing power of attorney, the referenced By-Laws of the Company and the above resolution of their Board of Directors are true and correct copies and are in full force and effect on this date.

IN WITNESS WHEREOF, I have hereunto set my hand and the seal of the Company this 29th day of September, 2016



Renee C. Llewellyn
Renee C. Llewellyn, Assistant Secretary



Report of Bond
Contract
The Ohio Casualty Insurance Company

Agency: **350932**

Bond Number: **601110890**

TEDFORD & ASSOCIATES, LLC

JENKS

Oklahoma

Principal:

Name: McCulloch Excavation, Inc.
Street: PO Box 1185
City: Glenpool
State: Oklahoma Zip: _____
Account Name: _____

Obligee:

Name: The City of Glenpool, OK
Street: _____
City: Glenpool
State: Oklahoma Zip: _____
Authorized By: _____
Authorized Date: _____

Bond Amounts

Contract Amount: \$ 8,000.00
Performance Amount: \$ _____
Payment Amount: \$ _____
Maintenance Amount: \$ 8,000.00
Co-Surety: _____ Co-Surety: % _____
Co-Surety Name: _____

Premium: \$ _____
Special Commission: _____
(If regular commission leave blank)

Bond Term

Contract Date: May 18, 2016
Completion Date: _____

Project Start Date: _____
Maintenance Term: 12
(in months)

Bond Details

Risk State: Oklahoma
Class Code: _____

Project Address

Street: _____
City: Glenpool
State: Oklahoma Zip: _____

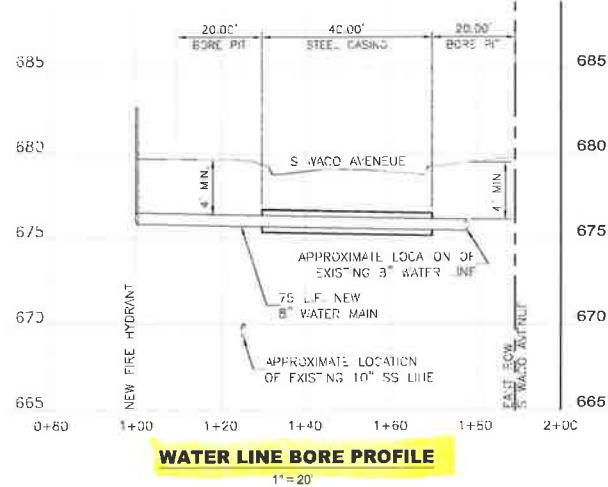
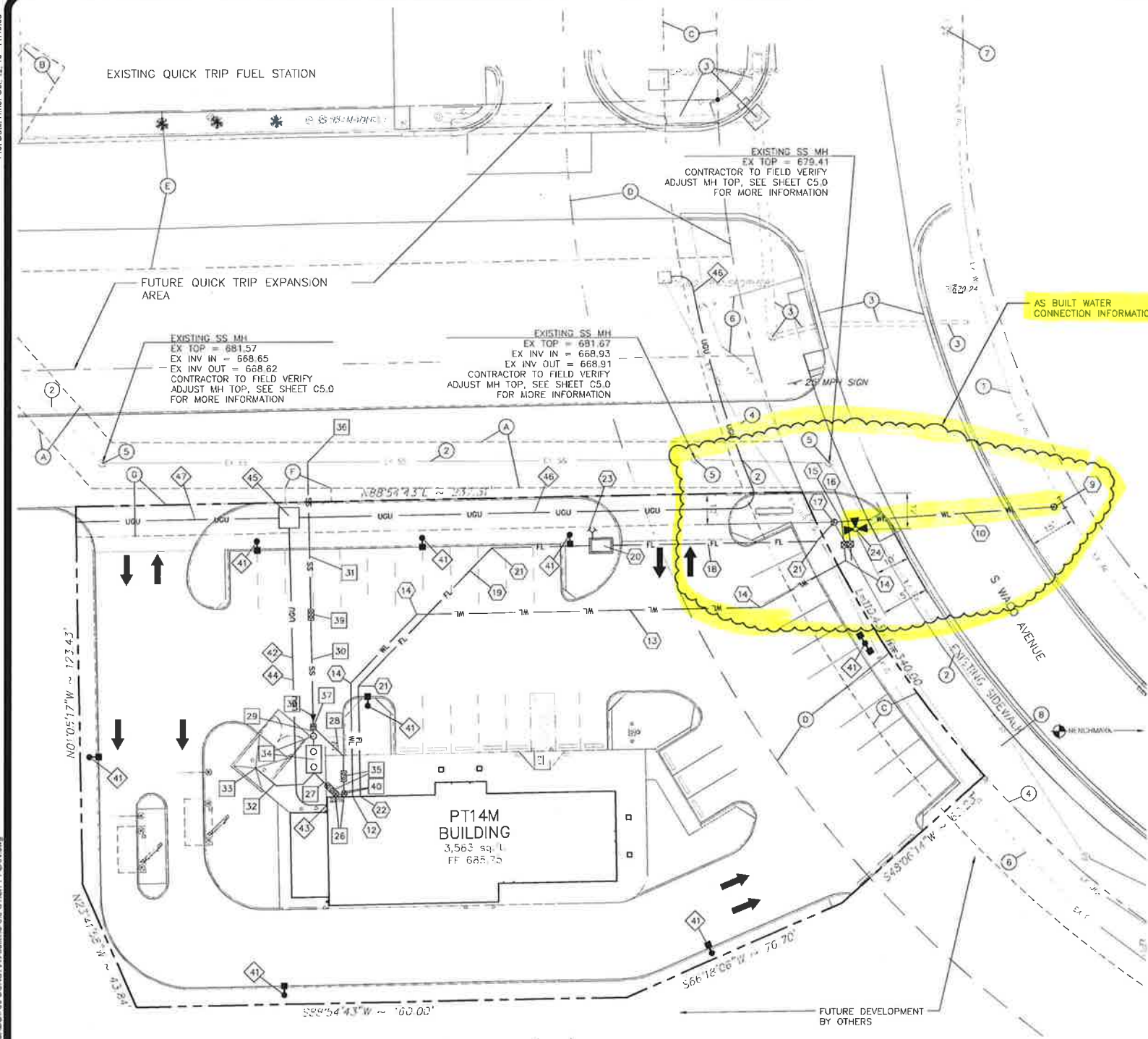
Bond Description:

Waterline Extension to Serve Whataburger

Remarks

Plot Date/Time Oct. 12, 16 - 11:45:05

Drawing: M:\W\103839 - 2101410 - 2024512 - Hwy 75 and 121st St, Glenpool, OK\103 CAD\103 CONSTRUCTION\103-01 UTILITY PLAN.dwg



PROJECT BENCHMARK

BENCHMARK
CHISELED SQUARE ON CONCRETE CURB
ALONG S WACO AVENUE
ELEVATION = 680.49
SEE SHEET C-5.0 FOR EXACT LOCATION

EASEMENTS AND SETBACKS

- (A) EXISTING 15' PLATTED SEWER EASEMENT (BK. 7141, PG. 1775)
- (B) EXISTING 15' PLATTED UTILITY EASEMENT (PLAT NO. 6117)
- (C) EXISTING 17.5' PLATTED UTILITY EASEMENT (PLAT NO. 6117)
- (D) EXISTING 50' PLATTED BUILDING SETBACK LINE (PLAT NO. 6117)
- (E) EXISTING MUTUAL ACCESS EASEMENT (DOC NO. 2007133962)
- (F) PROPOSED 15' SANITARY SEWER EASEMENT
- (G) PROPOSED 10' ELECTRIC EASEMENT

NOTES BY SYMBOL

GENERAL KEYED NOTES

- (1) APPROXIMATE LOCATION OF EXISTING 8" WATER LINE
- (2) APPROXIMATE LOCATION OF EXISTING 10" SANITARY SEWER LINE
- (3) APPROXIMATE LOCATION OF EXISTING STORM DRAIN SYSTEM
- (4) APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRIC LINE BY AEP-PSO
- (5) EXISTING SANITARY SEWER MANHOLE
- (6) APPROXIMATE LOCATION OF EXISTING GAS MAIN BY OKLAHOMA NATURAL GAS COMPANY
- (7) EXISTING FIRE HYDRANT
- (8) NOT USED

WATER KEYED NOTES

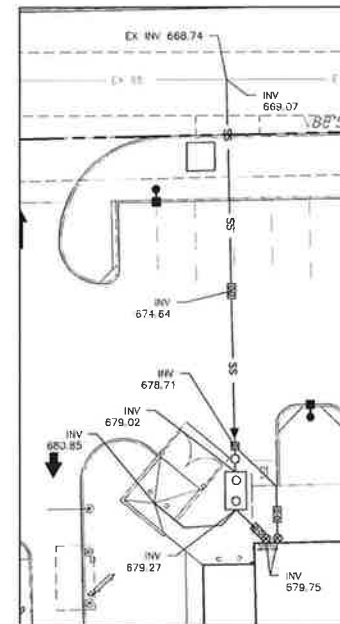
- (9) CONNECT NEW 8" WATER MAIN EXTENSION TO EXISTING 8" WATER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING 8" WATER LINE PRIOR TO CONSTRUCTION. COORDINATE WITH THE CITY OF GLENPOOL UTILITIES. CONTRACTOR TO DISINFECT WATER EXTENSION PER CITY OF GLENPOOL UTILITIES SPECIFICATIONS BEFORE CONNECTION TO EXISTING 8" WATER MAIN.
- (10) 1" TAPPING SLEEVE AND VALVE, M.I.
- (11) 1- 8" GATE VALVE AND BOX, COMPLETE
- (12) 75 L.F. - 8" WATER MAIN EXTENSION INCLUDING 40 L.F. OF BORING UNDER S WACO AVENUE WITHIN 14" STEEL CASING. SEE PROFILE THIS SHEET AND SHEET C-6.1 FOR DETAIL
- (13) NOT USED
- (14) CONNECT 1 1/2" DOMESTIC WATER SERVICE LINE TO BUILDING SEE MEP PLANS FOR DETAILS
- (15) ±221 L.F. - 1 1/2" DOMESTIC WATER SERVICE LINE
- (16) 1 - 1 1/2" 1/8 BEND
- (17) CONNECT NEW 1 1/2" DOMESTIC WATER LINE TO NEW 8" WATER LINE.
- (18) 1 1/2" DOMESTIC WATER SERVICE WITH 1 1/2" METER AND BACKFLOW PREVENTER. SEE SHEET C-6.1 FOR DETAILS. COORDINATE WITH THE CITY OF GLENPOOL UTILITIES.
- (19) CONNECT NEW 1" IRRIGATION SERVICE TO NEW 8" WATER LINE.
- (20) 1" IRRIGATION SERVICE WITH 1" METER. SEE SHEET C-6.1 FOR DETAILS. REFER TO SHEETS L-2.0, L-2.1, AND L-2.2 FOR IRRIGATION LAYOUT, BACKFLOW PREVENTER, AND DETAILS. COORDINATE WITH THE CITY OF GLENPOOL UTILITIES.
- (21) CONNECT NEW 6" FIRE SERVICE TO NEW 8" WATER LINE.
- (22) INSTALL 6" GATE VALVE AND VALVE BOX. SEE SHEET C-6.1 FOR DETAILS. COORDINATE WITH THE CITY OF GLENPOOL UTILITIES.
- (23) ±83 L.F. - 6" FIRE SERVICE LINE
- (24) ±131 L.F. - 6" FIRE SERVICE LINE
- (25) DETECTOR CHECK ASSEMBLY WITH HEAT TRACE IN CONCRETE VAULT SEE SHEET C-6.1 FOR VAULT DETAILS, REFER TO SHEET P5.1 GENERAL NOTES FOR HEAT TRACE SPECIFICATIONS.
- (26) 1 - 6" 1/8 BEND
- (27) CONNECT 6" FIRE SERVICE LINE TO BUILDING SEE MEP PLANS FOR DETAILS
- (28) FIRE DEPARTMENT CONNECTION. CONTRACTOR TO COORDINATE WITH CITY OF GLENPOOL FIRE DEPARTMENT FOR APPROVAL/PERMITTING PRIOR TO CONSTRUCTION.
- (29) NEW PUBLIC FIRE HYDRANT
- (30) 1 - FIRE HYDRANT ASSEMBLY PER CITY OF GLENPOOL UTILITIES
- (31) 1 - 8"x6" REDUCER
- (32) 3 L.F. - 6" D.I. PIPE
- (33) NOT USED

SANITARY SEWER KEYED NOTES

- (34) CONNECT 4" SANITARY SEWER LINE AND 4" GREASE WASTE LINE TO BUILDING. INV = 6' BELOW FINISH FLOOR SEE MEP PLAN FOR DETAILS
- (35) ±12 L.F. - 4" GREASE WASTE LINE @ 4.00%
- (36) ±26 L.F. - 4" SANITARY SEWER LINE @ 4.00%
- (37) ±6 L.F. - 4" GREASE WASTE LINE @ 5.17%
- (38) ±37 L.F. - 6" SANITARY SEWER LINE @ 11.00%
- (39) ±50 L.F. - 6" SANITARY SEWER LINE @ 11.14%
- (40) ±23 L.F. - 4" GREASE WASTE LINE @ 5.87%
- (41) DUMPSTER DRAIN, SEE SHEET MPE1.2 FOR DETAILS
- (42) GREASE TRAP/SAMPLE WELL ASSEMBLY, SEE DETAIL 2, SHEET P5.1.
- (43) 4" TWO WAY SANITARY SEWER CLEAN OUT, SEE SHEET C-6.1 AND SHEET MPE1.2 FOR DETAILS
- (44) CONNECT NEW 6" SANITARY SEWER SERVICE INTO EXISTING 10" SANITARY SEWER MAIN. SEE SHEET C-6.1 FOR DETAILS. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING 10" SANITARY SEWER MAIN PRIOR TO CONSTRUCTION. CONTRACTOR TO PROVIDE ALL STACKS, BENDS, AND FITTINGS AS REQUIRED TO CONNECT TO EXISTING 10" SANITARY SEWER MANHOLE. COORDINATE WITH CITY OF GLENPOOL UTILITIES.
- (45) EXISTING 10" SS INV = ±668.74
- (46) PROPOSED 6" SS INV = 669.07
- (47) 4" SANITARY SEWER CLEAN OUT, SEE SHEET C-6.1 FOR DETAILS
- (48) 6"x4" REDUCER
- (49) 6" TWO WAY SANITARY SEWER CLEAN OUT, SEE SHEET C-6.1 FOR DETAILS
- (50) 4" SANITARY SEWER BACKFLOW VALVE, OATEY MODEL 43904 OR ENGINEER APPROVED EQUAL

ELECTRICAL KEYED NOTES

- (51) PROPOSED LIGHT STANDARD LOCATION. SEE SHEET S-7.1 FOR BASE DETAILS AND SHEET PH-1.0 FOR LIGHT SPECIFICATIONS
- (52) ±102 L.F. - NEW SECONDARY UNDERGROUND ELECTRIC. CONTRACTOR TO COORDINATE WITH OG&E.
- (53) ELECTRIC AND TELEPHONE CONNECTION TO BUILDING. REFER TO MEP PLANS FOR DETAILS.
- (54) TELEPHONE SERVICE TO BE LAID IN SAME TRENCH AS ELECTRIC. CONTRACTOR TO COORDINATE WITH OG&E AND AT&T.
- (55) NEW TRANSFORMER PAD. CONTRACTOR TO COORDINATE WITH OG&E.
- (56) NEW PRIMARY UNDERGROUND ELECTRIC BY OG&E.
- (57) ±67 L.F. OF ELECTRIC CONDUIT. COORDINATE WITH OG&E.



SANITARY SEWER INVERTS

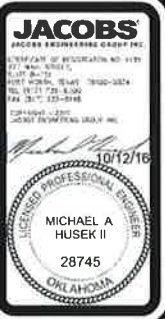
1" = 20'



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

REVISIONS	DATE	DESCRIPTION

PROJECT: PT14M BUILDING TYPE
12110 S WACO AVE.
GLENPOOL, OK 74033



WHATABURGER
300 CONCORD PLAZA DR
SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

THIS DRAWING IS THE PROPERTY OF WHATABURGER, SAN ANTONIO, TEXAS AND MAY NOT BE LOANED, REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF WHATABURGER.

SHEET TITLE:
AS-BUILT
UTILITY PLAN

PROJECT NO. 2101410
DATE: 3/28/2016
SCALE: 1" = 20'
DRAWN BY: PTW
APPROVED BY: SG

SHEET NO:
1



To: HONORABLE MAYOR AND CITY COUNCIL
CHAIRMAN AND TRUSTEES OF GLENPOOL INDUSTRIAL AUTHORITY

From: Lowell Peterson, City Attorney/Trust Counsel

Date: October 17, 2016

Subject: Resolution No. 16-10-02, Authorizing: the appointment of a TIF Project Plan Review Committee; Creation and implementation of a TIF Project Plan; and Creation of a Tax Increment District for Purposes Pertaining to Economic Development

Background of "TIF" District Proposal:

The City has become aware of a substantial opportunity for economic development that will require assistance and support from the City and the Industrial Authority in the form of tax increment financing in order for the project to be viable.

Tax increment financing ("TIF") is authorized by Article 10 § 6C of the Oklahoma Constitution and implemented by the Local Development Act, at Title 62 §§ 850 - 869 of the Oklahoma Statutes. At the risk of oversimplification, the financing arrangements consist of designating a defined Tax Increment District as the site for a proposed economic development Project; establishing its currently assessed full market value for purposes of ad valorem taxation as the "base assessed value;" projecting what ad valorem and/or sales tax increases [increments] are likely to occur over a defined term that are attributable to improvements made on the District site for the Project; and allocating all or a portion of those increments to the payment of qualified project costs incurred in the process of implementing the Project. (As noted in the developer's proposal to the Council, there will also be sales tax reimbursements that contribute to the maximum reimbursement allowed under the TIF Project Plan.)

The TIF process works substantially as follows:

- The owner/developer of property that is proposed for the creation of a TIF District presents her/his proposal for financing a defined Project and setting out how the allocation of projected tax increments will be sufficient for the payment of eligible Project Costs;
- The City Council adopts a resolution such as that proposed for the purposes of creating a Project Review Committee that will consist of:
 - One member from the Council, who will serve as chairperson of the Review Committee;
 - One member from the Planning Commission;
 - One member from each of the affected tax levying jurisdictions (such as the school district; County agencies; GEMS; TCC; et al);and

- Three representatives of the public at large, who are to be selected by the foregoing members of the Review Committee from a list of seven names submitted by the chairperson and who must include a retailer or a representative of a retail organization.
- In conjunction with the developer, City staff, bond counsel and designated local counsel, the Review Committee prepares a Project Plan to be recommended (or not) by the Planning Commission and adopted by the City Council.

The Project Plan must:

- Be in conformance to the Comprehensive Plan;
- Include a detailed plan for the payment of qualified Project Costs through apportionment of the tax increment; and
- Define the impact of the TIF on other taxing jurisdictions.
- Approval of the Project Plan by ordinance adopted by the City Council; and
- Implementation of the Project Plan.

The proposal of the developer of the proposed project is attached, along with Resolution No. 16-10-02 and a retainer agreement for purposes of engaging bond counsel and designated local counsel.

Retainer Agreement

The law firm of Hilborne & Weidman, PC, has served as bond counsel on numerous transactions for the City and has offered its services to the City and the Industrial Authority for the purpose of ensuring the completeness and compliance with the Local Development Act of all actions taken in accomplishing the steps and tasks outlined above. This will include assistance in establishment of the Review Committee; communications with the other tax levying jurisdictions; preparation of the Project Plan; preparation and execution of all documents and legal opinions necessary to secure approval of the Project Plan by all reviewing parties; and adoption of the ordinance. In addition, designated local counsel will be expected to oversee implementation of the adopted Project Plan.

John Weidman, as Vice President of Hilborne & Weidman, will be the member of the law firm with primary responsibility to function as bond counsel. Attorney Weidman has been kind enough, in his retainer agreement, to include me as the designated local counsel for this purpose. That decision was not made at my request, but I will be glad to assume those duties as supplemental and in addition to my ongoing services as City Attorney.

Staff Recommendation:

I recommend that the City Council approve, and the Industrial Authority concur, in adopting Resolution No. 16-10-02 and authorize the Mayor to execute the retainer agreement engaging Hilborne & Weidman as bond counsel and myself as designated local counsel.

Attachments:

- Request and proposal for a TIF District from Ford Development Corporation on behalf of South 75 Business Park LLC. [Discussion only.]
- Resolution No. 16-10-02. [Discussion and possible action item.]
- Retainer agreement for bond counsel and designated local counsel. [Discussion and possible action item.]



October 13, 2016

City of Glenpool
12205 S. Yukon Avenue
Glenpool, OK 74033

Glenpool Industrial Authority
12205 S. Yukon Avenue
Glenpool, OK 74033

Re: Request and Proposal for a Tax Increment Financing ("TIF") District for the proposed South 75 Business Park in Glenpool, Oklahoma

Dear Mayor/Chairman and Council Members/Trustees:

Ford Development Corporation (the "Developer"), on behalf of South 75 Business Park LLC (the "Owner"), hereby requests that the Governing Body (herein so called) of the City of Glenpool (the "City") consider the establishment of a TIF district (the "District") pursuant to the Oklahoma Local Development Act (the "Act") for the reimbursement of eligible project costs for the proposed South 75 Business Park (the "Project"). The Project consists of approximately 166 acres of land on the east side of Highway 75 between 161st Street and 171st Street (1 mile of highway frontage other than the existing Tractor Supply store at 161st Street).

Creation of the District will provide funding assistance necessary to pave streets, extend utilities and install other infrastructure for the Project. In turn, this will serve as a catalyst for retaining and expanding employment and attracting major investment to the Project area (and surrounding areas of the City), thus enhancing the tax base of the District. The proposed District includes three tracts of land which comprise the approximately 166 acres (see the attached Exhibit "A" for a legal description of the land).

I understand that, if this request is accepted, the Governing Body will establish a review committee and then direct said committee to prepare a proposed plan for the Project (the "Project Plan"). I also understand that the Act requires a representation that development would not occur for the Project but for the establishment of the District. Please note that, in order to get development financing for the Project, I will have to raise additional equity from the current investors in the Project. By separate cover, you will receive a letter from the investment advisor who represents the current investors that no additional equity will be contributed to the Project apart from approval of the District.

As set forth in the attached Exhibit “B”, the total development costs for the Project are projected to be approximately \$5,000,000. Included therewith is a cost estimate from Tanner Consulting LLC which supports the estimated amount for grading, paving, storm sewer, sanitary sewer, water and erosion control. The other amounts set forth on the summary schedule are my best estimate at this time. The improvements proposed for the District would be funded with a combination of investor equity and bank financing. The Owner intends to use land within the District as collateral along with the anticipated reimbursements from the District.

If the TIF is approved, 50% of the additional ad valorem taxes generated by the District will be utilized to reimburse the Owner for its qualified project costs up to a maximum of \$5,000,000. The attached Exhibit “C” reflects a projected 10-year build-out of the Project. As reflected thereon, it is projected that the District will generate total additional ad valorem taxes for said 10-year period in the amount of \$8,603,896 of which 50% (\$4,301,948) would be available for reimbursements to the Owner. The Project Plan will also include an allocation of a 50% share of the City’s unrestricted sales taxes generated by businesses within the Project area. As received by the Owner, this allocation shall reduce the amount (dollar for dollar) required to be reimbursed by the District. In other words, the total reimbursement from the District to the Owner shall be limited to the aggregate of ad valorem tax allocations and sales tax allocations up to a maximum amount of \$5,000,000 or a maximum reimbursement period of 10 years, whichever occurs first.

It is anticipated that Phase 1 of the proposed improvements will begin in early 2017 and the first business will open by the end of 2017. It is further anticipated that Phase 2 of the proposed improvements will begin in mid-2018 and be completed in mid-2019. The 10-year proposed life for the District will begin with the calendar year 2019 and end with the calendar year 2028. If the build-out of the Project occurs sooner than anticipated, the full reimbursement of Owner’s development costs could occur sooner than 10 years. If the build-out of the Project takes longer than anticipated, the Owner may not be fully reimbursed by the end of 2028. In either case, the life of the District will not exceed the sooner of the end of 2028 or the time period required to fully reimburse the Owner for its TIF-eligible development costs.

The attached Exhibit “D” reflects the Owner’s current proposed development plan for the Project. Approximately 77 acres of land between 166th Street and 171st Street have been divided into 4 tracts of land (Tracts A-D). Approximately 89 acres of land between 161st Street and 166th Street have been divided into 16 lots (Lots 1-16). The existing Tractor Supply store will not be part of the District. The Developer currently estimates that Phase 1 of the Project will include Tracts A-D and Lots 1-6 and Phase 2 of the Project will include Lots 7-16. However, market conditions could cause the Developer and/or Owner to adjust said phasing plan.

The undersigned, as president of the Developer, will be responsible for the development of the Project and coordinating with the District. My street address and office phone number are reflected on this letterhead. My email address is: rex@forddevelopment.net and my cell phone number is: 214-850-8838. It is always best to call me on my cell phone.

Upon your review of this information, please let me know if you have any questions. Thank you for the opportunity to present this proposal.

Very truly yours,

FORD DEVELOPMENT COPORATION



By: Rex F. Robertson

Its: President

Exhibit "A"

**South 75 Business Park
Legal Description of Land**

Tract 1 (approximately 84 acres)

A tract of land that is part of the Northwest Quarter (NW/4) of Section Twenty-Six (26), Township Seventeen (17) North, Range Twelve (12) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof, said tract of land being described as follows:

COMMENCING at the Northwest Corner of said Northwest Quarter (NW/4); Thence N 89 degrees 57'58" E along the Northerly line of said Northwest Quarter (NW/4) for 45.75 feet to the Point of Beginning of said tract of land; Thence continuing N 89 degrees 57'58" E along said Northerly line for 1769.32 feet; Thence S 09 degrees 32'46" W for 2680.09 feet to a point on the Southerly line of said Northwest Quarter (NW/4); Thence S 89 degrees 57'06" W along said Southerly line for 1330.03 feet to a point, said point being N 89 degrees 57'06" E a distance of 43.25 feet from the Southwest corner of said Northwest Quarter (NW/4); Thence N 00 degrees 06'44" E for 1000.20 feet; Thence S 89 degrees 52'46" E for 660.00 feet; Thence N 00 degrees 06'44" E and parallel with the Westerly line of said Northwest Quarter (NW/4) for 330.00 feet; Thence N 89 degrees 52'46" W for 660.00 feet; Thence N 00 degrees 06'44" E for 1312.85 feet to the POINT OF BEGINNING, save and except Lot One (1), Block One (1), South 75 Business Park – Phase 1, a Subdivision in the City of Glenpool, Tulsa County, State of Oklahoma, according to the recorded Plat No. 6273.

Tract 2 (approximately 5 acres)

A tract of land in the Northwest Quarter (NW/4) of Section Twenty-Six (26), Township Seventeen (17) North, Range Twelve (12) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof, being more particularly described as follows, to-wit:

COMMENCING at the Northwest Corner of said Section Twenty-six (26); Thence due South 1312.73 feet along the West boundary of said Section Twenty-six (26); Thence S89 degrees 56'13"E 44.52 feet to a point on the East boundary of U.S. Highway 75 Right of Way, said point being the Point of Beginning; Thence S89 degrees 56'13"E 660 feet; Thence S00 degrees 03'17"W 330 feet; Thence N89 degrees 56'13"W 660 feet to a point on the East Right of Way boundary of U.S. Highway 75; Thence N00 degrees 03'17"E 330 feet along the East boundary of U.S. Highway 75 Right of Way to the POINT OF BEGINNING.

Tract 3 (approximately 77 acres)

The Northwest Quarter of the Southwest Quarter (NW/4 SW/4) and the Southwest Quarter of the Southwest Quarter (SW/4 SW/4) of Section Twenty-Six (26), Township Seventeen (17) North, Range Twelve (12) East of the Indian Base and Meridian, Tulsa County, State of Oklahoma, according to the U.S. Government Survey thereof.

South 75 Business Park
Projected Development Costs re: Proposed TIF

1. Tanner Cost Estimate:		
Grading	1,889,976	
Paving	635,874	
Storm Sewer	730,204	
Sanitary Sewer	228,302	
Water	330,615	
Erosion Control	<u>53,454</u>	3,868,425
2. Proposed J-Turn		400,000
3. Engineering/surveying fees		100,000
4. Landscaping		100,000
5. Legal fees re: establishment of the TIF District		30,000
6. Administrative fees – Glenpool Industrial Authority (10,000/year x 10 years)		100,000
7. Financing costs/interest expense		<u>401,575</u>
Total		<u>5,000,000</u>

Pre-Design Estimate

for

Grading, Paving, Storm, Sanitary Sewer, Waterline and Erosion Control**14035/15041 South 75 Business Park (All Phases/Overall) (Site Plan # 15)**

Glennpool, Oklahoma

Item	Quantity	Description	Unit Cost	Extension
ENGINEER'S ESTIMATE				

Grading**101. GENERAL SITE GRADING**

a.	97.8 Acres	Clearing & Grubbing (includes tree removal)	\$ 1,800.00	\$ 176,040.00
b.	65,770 CY	Stripping, 5" deep, Stockpile & Replace	\$ 6.00	\$ 394,620.00
c.	316,909 CY	Unclassified Excavation & Site Grading	\$ 4.00	\$ 1,267,636.00
d.	32.3 Acres	Revegetation (Seeding)	\$ 1,600.00	\$ 51,680.00

Total Grading Base Bid **\$ 1,889,976.00**

Paving**201. FINE GRADING & SUBGRADE PREPARATION***(Quantities to 2 feet behind back of curb. Refer to Geotechnical Report for treatment options.)*

a.	16,067 SY	Fine Grading for Paving	\$ 1.50	\$ 24,100.50
b.	16,067 SY	Stabilized Subgrade, 8" deep	\$ 6.50	\$ 104,435.50

202. PAVING, IN PLACE

a.	16,192 SY	ODOT Type "A" Asphaltic Concrete Paving, 4.5" thick	\$ 14.00	\$ 226,688.00
b.	16,192 SY	ODOT Type "C" Asphaltic Concrete Paving, 2.0" thick	\$ 7.50	\$ 121,440.00

203. CONCRETE CURB & GUTTER, IN PLACE

a.	5,717 LF	Concrete Curb and Gutter, 6" Barrier	\$ 13.00	\$ 74,321.00
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204. CONCRETE RAMP, IN PLACE

a.	6 EA	Concrete Handicap Ramp, 4" Thick, with Tactile Warning	\$ 800.00	\$ 4,800.00
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206. PAVEMENT MISCELLANEOUS

a.	5,396 SY	Slab Sod, to 6' Behind Curb	\$ 2.75	\$ 14,839.00
b.	3 LS	Thermoplastic Pavement Striping	\$ 15,000.00	\$ 45,000.00

207. CONDUIT, IN PLACE

a.	1,350 LF	Pipe, 4" PVC Sch 40 (includes approved end-of-trench markers)	\$ 15.00	\$ 20,250.00
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Total Paving Base Bid **\$ 635,874.00**

Item	Quantity	Description	Unit Cost	Extension
ENGINEER'S ESTIMATE				
Storm Sewer				
301.	RIGHT-OF-WAY CLEARING AND RESTORING **			
a.	9,708 LF	Right-of-Way Clearing and Restoring	\$ 2.00	\$ 19,416.00
302.	EXCAVATION AND BACKFILL, UNCLASSIFIED			
a.	8,438 CY	Excavation and Backfill, Unclassified	\$ 5.00	\$ 42,190.00
304.	PIPE, REINFORCED CONCRETE (RCP), IN PLACE *			
a.	700 LF	48-Inch RCP, ASTM C76, Class III, Wall B	\$ 145.00	\$ 101,500.00
b.	275 LF	42-Inch RCP, ASTM C76, Class III, Wall B	\$ 127.50	\$ 35,062.50
c.	530 LF	36-Inch RCP, ASTM C76, Class III, Wall B	\$ 98.00	\$ 51,940.00
d.	530 LF	30-Inch RCP, ASTM C76, Class III, Wall B	\$ 82.50	\$ 43,725.00
e.	1,903 LF	24-Inch RCP, ASTM C76, Class III, Wall B	\$ 73.50	\$ 139,870.50
f.	1,670 LF	18-Inch RCP, ASTM C76, Class III, Wall B	\$ 72.50	\$ 121,075.00
306.	INLETS, IN PLACE			
	<i>(Storm contractor to provide grates, frames & curb hoods to be set by paving contractor)</i>			
a.	15 EA	Std. Design 2A Curb Inlet with Access Manhole	\$ 4,500.00	\$ 67,500.00
b.	15 EA	Std. Design 2A Curb Inlet	\$ 3,600.00	\$ 54,000.00
307.	JUNCTIONS, IN PLACE			
a.	2 EA	Std. 6' ID Precast Concrete Manhole	\$ 3,950.00	\$ 7,900.00
b.	5 EA	Std. 5' ID Precast Concrete Manhole	\$ 3,150.00	\$ 15,750.00
c.	1 EA	Std. 4' ID Precast Concrete Manhole	\$ 2,150.00	\$ 2,150.00
308.	OUTLETS, IN PLACE			
	<i>(All outlet structures include minimum 3' deep concrete toewall, unless otherwise noted)</i>			
a.	1 EA	Std. 24" Precast Concrete End Section	\$ 1,125.00	\$ 1,125.00
b.	1 EA	Std. 36" Precast Concrete End Section	\$ 5,000.00	\$ 5,000.00
c.	1 EA	Std. 48" Precast Concrete End Section	\$ 7,000.00	\$ 7,000.00
d.	1 EA	Special Pond Outlet Structure	\$ 15,000.00	\$ 15,000.00
Total Storm Sewer Base Bid			\$	730,204.00

Item	Quantity	Description	Unit Cost	Extension
ENGINEER'S ESTIMATE				
Sanitary Sewer				
401.	RIGHT-OF-WAY CLEARING AND RESTORING **			
a.	3,678 LF	Right-of-Way Clearing and Restoring	\$ 2.00	\$ 7,356.00
402.	EXCAVATION AND BACKFILL, UNCLASSIFIED			
a.	3,274 CY	Excavation and Backfill, Unclassified	\$ 5.00	\$ 16,370.00
404.	PIPE, POLYVINYL CHLORIDE (PVC), FOR SEWER SERVICE, IN PLACE *			
a.	3,386 LF	8-Inch PVC Pipe, ASTM D1784, SDR35	\$ 33.00	\$ 111,738.00
405.	MANHOLE, IN PLACE			
a.	17 EA	Std. 4 'ID Precast Concrete Manhole	\$ 2,550.00	\$ 43,350.00
b.	9 VF	Std. 4 'ID Precast Concrete Manhole, Additional Depth >6'	\$ 137.50	\$ 1,237.50
407.	CONNECTION, IN PLACE			
a.	1 EA	Connect to Existing Manhole	\$ 2,900.00	\$ 2,900.00
b.	1 EA	Connect over Existing Sewer Line	\$ 5,000.00	\$ 5,000.00
c.	10 EA	8"x8"x4" Service Tee	\$ 250.00	\$ 2,500.00
d.	7 EA	8"x8"x4" Service Tee and Long Service	\$ 300.00	\$ 2,100.00
408.	CONDUIT, IN PLACE			
a.	130 LF	Bore and 24" Steel Conduit	\$ 275.00	\$ 35,750.00
Total Sanitary Sewer Base Bid				\$ 228,301.50

Item	Quantity	Description	Unit Cost	Extension
ENGINEER'S ESTIMATE				
Waterline				
501.	RIGHT-OF-WAY CLEARING AND RESTORING **			
a.	5,801 LF	Right-of-Way Clearing and Restoring	\$ 2.00	\$ 11,602.00
502.	EXCAVATION AND BACKFILL, UNCLASSIFIED			
a.	4,296 CY	Excavation and Backfill, Unclassified	\$ 5.00	\$ 21,480.00
503.	PIPE, POLYVINYL CHLORIDE (PVC), FOR WATER SERVICE, IN PLACE *			
a.	5,801 LF	8-Inch PVC, AWWA C900, Class 200 (DR14)	\$ 33.00	\$ 191,433.00
504.	FITTINGS, IN PLACE			
a.	2 EA	8"x8"x8" Tee	\$ 410.00	\$ 820.00
b.	8 EA	8" 45° Bend	\$ 275.00	\$ 2,200.00
c.	4 EA	8" 45° Bend, Vertical	\$ 275.00	\$ 1,100.00
d.	2 EA	8" Plug	\$ 275.00	\$ 550.00
505.	CONNECTION, IN PLACE			
a.	3 EA	Connect to Existing 8" Water Main	\$ 1,500.00	\$ 4,500.00
b.	3 EA	3/4" Corporation Stop and Saddle	\$ 270.00	\$ 810.00
c.	9 EA	Tee & Long Service for Meter(s)	\$ 300.00	\$ 2,700.00
506.	VALVES, IN PLACE			
a.	12 EA	8" Gate Valve	\$ 1,125.00	\$ 13,500.00
b.	3 EA	8"x8"x8" Tapping Sleeve & Valve	\$ 3,200.00	\$ 9,600.00
c.	1 EA	2" Air Relief Valve and Vault	\$ 1,000.00	\$ 1,000.00
d.	17 EA	3-Way Fire Hydrant Assembly (includes hydrant & riser, tee, gate valve, leader & blocking)	\$ 4,000.00	\$ 68,000.00
507.	VALVE BOX			
a.	12 EA	Standard Valve Box	\$ 110.00	\$ 1,320.00
Total Waterline Base Bid			\$	330,615.00

Item	Quantity	Description	Unit Cost	Extension
ENGINEER'S ESTIMATE				

Erosion Control

Quantities are Estimates Only. Contractor must provide sufficient erosion control to meet ODEQ requirements.

a.	3 EA	Stabilized Construction Entrance	\$ 2,500.00	\$ 7,500.00
b.	30 EA	Inlet Protection Devices	\$ 150.00	\$ 4,500.00
c.	3 EA	Check Dams	\$ 3,000.00	\$ 9,000.00
d.	3 EA	Outlet Protection Devices	\$ 250.00	\$ 750.00
e.	7,926 LF	Silt Fence for Erosion Stabilization	\$ 4.00	\$ 31,704.00

Total Erosion Control Base Bid \$ 53,454.00

* Crushed rock bedding (or flowable fill) under paved areas to be included in price bid for pipe.

Grand Total Base Bid \$ 3,868,424.50

Grand Total With 15% Contingency \$ 4,448,688.18

† Note 3

Miscellaneous Unit Prices

Flyash, in place	\$ 70.00	per Ton
Aggregate (i.e. crushed rock), in place	\$ 30.00	per CY

Dated at Tulsa, Oklahoma this _____ day of _____, 2016.

Respectfully submitted,

Complete legal name of Bidder

By:

By _____ Date _____ By _____ Date _____

Address, City, State & Zip Code

Phone and Fax Number

Accepted by Owner this _____ day of _____, 2016.

South 75 Business Park
162.75 Acres of Developed Sites
Projected Taxes from TIF
2018-2028

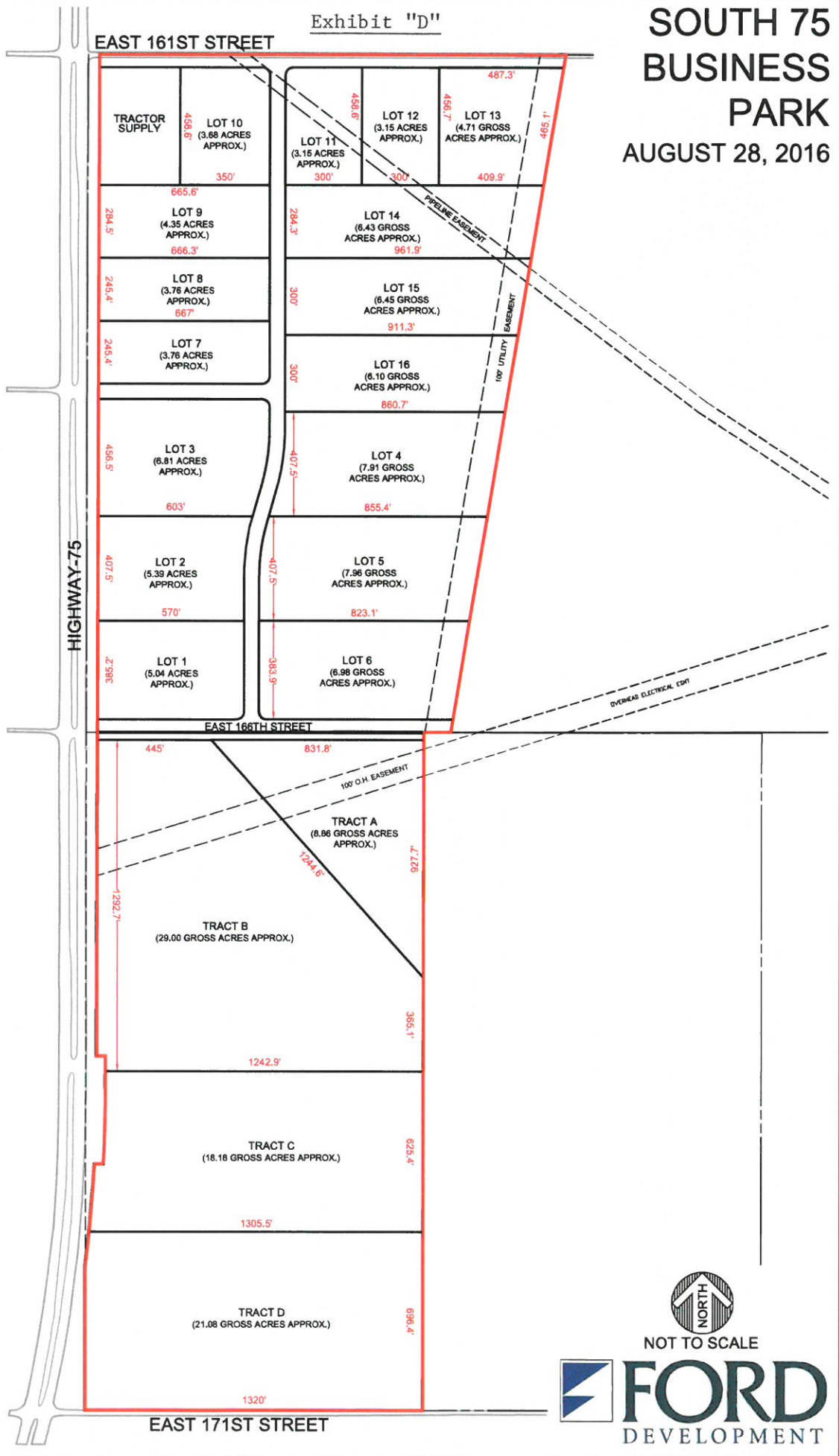
	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	Totals 2018 - 2028
Acres of Land Built on	----	29.01	14.86	14.86	14.86	14.86	14.86	14.86	14.86	14.86	14.86	162.75
Building Square Footage per Acre	----		8,712	8,712	8,712	8,712	8,712	8,712	8,712	8,712	8,712	
Annual increase to building square footage		45,000	129,460	129,460	129,460	129,460	129,460	129,460	129,460	129,460	129,460	1,210,140
Estimated tax value per square foot		200	100	100	100	100	100	100	100	100	100	
Annual increase to tax value		9,000,000	12,946,000	12,946,000	12,946,000	12,946,000	12,946,000	12,946,000	12,946,000	12,946,000	12,946,000	125,514,000
Cumulative tax value		9,000,000	21,946,000	34,892,000	47,838,000	60,784,000	73,730,000	86,676,000	99,622,000	112,568,000	125,514,000	
Estimated annual taxes @ 1.28% 2018 taxes		115,200 (500)	280,909 (500)	446,618 (500)	612,326 (500)	778,035 (500)	943,744 (500)	1,109,453 (500)	1,275,162 (500)	1,440,870 (500)	1,606,579 (500)	8,608,896 (5,000)
Increase to taxes		114,700	280,409	446,118	611,826	777,535	943,244	1,108,953	1,274,662	1,440,370	1,606,079	8,603,896
Reimbursement to developer (50%)		(57,350)	(140,204)	(223,059)	(305,913)	(388,768)	(471,622)	(554,476)	(637,331)	(720,185)	(803,040)	(4,301,948)
Increased taxes to taxing authorities		57,350	140,204	223,059	305,913	388,768	471,622	554,476	637,331	720,185	803,040	4,301,948
Allocation												
Health (2.22%)		1,273	3,113	4,952	6,791	8,631	10,470	12,309	14,149	15,988	17,827	95,503
School 4-Mill (3.44%)		1,973	4,823	7,673	10,523	13,374	16,224	19,074	21,924	24,774	27,625	147,987
School District (60.55%)		34,725	84,894	135,062	185,230	235,399	285,567	335,735	385,904	436,072	486,240	2,604,830
Tulsa Technology Center (11.47%)		6,578	16,081	25,585	35,088	44,592	54,095	63,598	73,102	82,605	92,109	493,433
Tulsa Community College (6.20%)		3,556	8,693	13,830	18,967	24,104	29,241	34,378	39,515	44,651	49,788	266,721
Emergency Medical Service (2.66%)		1,526	3,729	5,933	8,137	10,341	12,545	14,749	16,953	19,157	21,361	114,432
County (8.88%)		5,093	12,450	19,808	27,165	34,523	41,880	49,238	56,595	63,952	71,310	382,013
Library (4.58%)		2,627	6,421	10,216	14,011	17,806	21,600	25,395	29,190	32,984	36,779	197,029
Total		57,350	140,204	223,059	305,913	388,768	471,622	554,476	637,331	720,185	803,040	4,301,948

Exhibit "C"

Exhibit "D"

SOUTH 75 BUSINESS PARK

AUGUST 28, 2016



NOT TO SCALE



FORD
DEVELOPMENT

RESOLUTION NO. 16-10-02

A RESOLUTION OF THE CITY OF GLENPOOL, OKLAHOMA (THE "CITY") DECLARING THE CITY'S INTENT TO CONSIDER APPROVAL OF A PROJECT PLAN AND CREATION OF A TAX INCREMENT DISTRICT PURSUANT TO THE LOCAL DEVELOPMENT ACT; DIRECTING PREPARATION OF A PROJECT PLAN; APPOINTING A REVIEW COMMITTEE; DIRECTING THE REVIEW COMMITTEE TO MAKE FINDINGS AS TO ELIGIBILITY OF DESIGNATED PROJECT AREA AND FINANCIAL IMPACT, IF ANY, ON TAXING JURISDICTIONS WITHIN THE PROPOSED DISTRICT; DIRECTING THE REVIEW COMMITTEE TO MAKE A RECOMMENDATION WITH RESPECT TO THE PROPOSED PROJECT PLAN; DIRECTING THE PLANNING COMMISSION TO MAKE A RECOMMENDATION WITH RESPECT TO THE PROPOSED PROJECT PLAN; AND CONTAINING OTHER PROVISIONS RELATING THERETO.

WHEREAS, the City of Glenpool, Oklahoma (the "City") desires and works to promote economic development within the City's municipal boundaries in order to provide increased opportunity for residents and businesses of the area and to improve the overall standard of living; and

WHEREAS, the City aspires to support businesses located in the City and to attract to the City new and different types of businesses with the potential to invest in expanded retail, commercial and/or residential and industrial opportunities within the City, by offering, subject to certain conditions, economic development incentives in the form of assistance in development financing and public infrastructure improvements that will facilitate the proposed economic development activities; and

WHEREAS, the Local Development Act, at Title 62, Oklahoma Statutes §§ 850 *et seq.* (the "Local Development Act"), was passed by the Oklahoma Legislature to implement Article X, § 6C of the Oklahoma Constitution, which empowers the governing bodies of cities, towns, and counties to apportion tax increments to help finance the public costs of economic development; and

WHEREAS, in accordance with § 854 of the Local Development Act the City intends to exercise its powers to establish a project area and tax increment district; to cause a project plan to be prepared; to approve/disapprove/or amend such project plan upon recommendations of the Review Committee established herein and of the Planning Commission, and to cause tax increments to be applied to the payment of project costs; and

WHEREAS, in accordance with § 852 of the Local Development Act, the proposed project is a case where investment, development and economic growth would not occur but for implementation of the provisions of the Local Development Act to help finance the project costs and the City has taken care to exclude areas that do not meet this criteria; and

WHEREAS, in accordance with § 858 of the Local Development Act, the governing body of the City hereby directs that a project plan be prepared to include all applicable items identified in said § 858; and

WHEREAS, § 855 of the Local Development Act provides for the appointment of a Review Committee to review and make recommendations concerning the proposed district and project plan; to consider and make findings and recommendations with respect to the conditions establishing eligibility of the proposed district; to consider and determine whether the proposed project plan and project will have a financial impact on any taxing jurisdictions and businesses, if any, within the proposed district; and to report its findings and make its recommendations to the governing body of the City; and

WHEREAS, said § 855 of the Local Development Act provides that the membership of the Review Committee shall consist of the following: a representative of the governing body who shall serve as chairperson; a representative of the Planning Commission having jurisdiction over the proposed district; a representative designated by each taxing jurisdiction within the proposed district whose ad valorem taxes might be impacted by the implementation of the plan to apportion tax increments to help finance the public costs of the project; and three members representing the public at large and selected by the other committee members from a list of seven names submitted by the chairperson of the Review Committee, provided that at least one of the members representing the public at large shall be a representative of the business community in the City and, if the proposed project plan objective is development of principally commercial retail business, such representative shall be either a retailer or a representative of a retail organization; and

WHEREAS, for all the foregoing reasons, it is appropriate and desirable for the governing body of the City to appoint a Review Committee to consider and make recommendations on a proposed project plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GLENPOOL, OKLAHOMA:

SECTION 1. INTENT. The City Council intends to consider approval of a project and creation of a tax increment district to facilitate the financing of qualified project costs and hereby directs City staff, in conjunction with the Review Committee established by Section 2 of this Resolution, to prepare or cause to be prepared a project plan, to be submitted for consideration in accordance with the Local Development Act.

SECTION 2. ESTABLISHMENT OF REVIEW COMMITTEE. A Review Committee is hereby appointed whose membership shall consist of the following: (i) One Council Member as the representative of the City Council, who shall be the chairperson of the Review Committee; (ii) one representative of the Planning Commission; (iii) one representative designated by each of Tulsa County; the Tulsa City-County Health Department; Glenpool Independent School District No. 13; Tulsa Technology Center Vo-Tech District No. 18; Tulsa Community College; the Tulsa City-County Library; the Glenpool Area Emergency

Medical Service District; and (iv) three representatives of the public at large, who shall be selected from a list of seven names submitted by the representative of the City Council, as chairperson of the Review Committee, by the other Review Committee members, provided that at least one of the members representing the public at large shall be a representative of the business community in the City and, if the proposed project plan objective is development of principally commercial retail business, such representative shall be either a retailer or a representative of a retail organization.

SECTION 3. PLANNING COMMISSION RECOMMENDATION. The Glenpool Planning Commission shall review the proposed project plan and shall make its recommendations on the project plan to the City Council prior to its consideration by the Council.

SECTION 4. REVIEW COMMITTEE FINDINGS AND RECOMMENDATIONS. The Review Committee shall consider and determine whether the proposed district and project plan will have a financial impact on any taxing jurisdiction within the proposed district and, if so, shall assess and describe such impact; shall report its findings to the City Council; and shall consider and make its findings and recommendations to the City Council with respect to the conditions establishing the eligibility of the proposed district and the appropriateness of approval of the proposed project plan and project.

ADOPTED and APPROVED by the City Council of the City of Glenpool, this 17th day of October 2016.

Timothy Lee Fox, Mayor

ATTEST:

[seal]

Susan White, City Clerk

APPROVED AS TO FORM AND SUBSTANCE:

Lowell Peterson, City Attorney

HILBORNE & WEIDMAN

A PROFESSIONAL CORPORATION
ATTORNEYS AND COUNSELORS
2405 EAST 57TH STREET
TULSA, OKLAHOMA 74105-7548

TELEPHONE:
(918) 749-0111
TELECOPIER:
(918) 749-0335

September 29, 2016

Chairman and Trustees of the
Glenpool Industrial Authority

Gentlemen:

It is our pleasure to submit herewith our proposal to serve as Bond Counsel to the Glenpool Industrial Authority, regarding your proposed Tax Increment Financing District to provide funds to promote economic development within the City's municipal boundaries. As your Bond Counsel, we will work closely with Lowell Peterson, Glenpool City Attorney, and your staff in structuring the proposed Tax Increment District in order to create the District in accordance with the Local Development Act, at Title 62, Oklahoma Statutes §§ 850 *et seq* and Article X, § 6C of the Oklahoma Constitution. In this connection, the Firm and Lowell Peterson will split the legal responsibilities and, together, shall provide such legal services as may be required to assist in the preparation of all documents and opinions necessary to successfully receive the approval of all necessary parties. In addition we will prepare all documents, closing papers and opinions necessary for the closing of the transaction, including the Project Plan. We will not be responsible for any documents relating to any proposed financing relating to the District by the Developer, such legal responsibilities are to be borne solely by the Developer.

For such services in connection with each issue or series of such bonds our fee would be Thirty Thousand dollars (\$30,000.00), to be split Fifteen Thousand (\$15,000.00) to the Firm and Fifteen Thousand (\$15,000.00) to Lowell Peterson, plus reimbursement for our reasonable documented out-of-pocket expenses incurred, such sum to be paid at the creation of the District. Our fee is contingent upon the creation of the proposed District. In the event the proposed District is not created, we would receive no compensation for our services rendered in connection therewith; provided that we shall receive reimbursement for accrued documented out-of-pocket expenses. You agree to pay all publication and printing expenses.

Respectfully submitted,

HILBORNE & WEIDMAN,
a professional corporation

John D. Weidman, Vice President

The above proposal is hereby approved and accepted this 29th day of September, 2016.

Chairman

**NOTICE
GLENPOOL UTILITY SERVICE AUTHORITY
SPECIAL MEETING**

A Special Session of the Glenpool Utility Service Authority will begin at 6:30 p.m. immediately following the Glenpool City Council meeting, on Monday, October 17, 2016, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

The following items are scheduled for consideration by the Authority:

AGENDA

- A) Call to Order**
- B) Roll call, declaration of quorum**
- C) Scheduled Business**
 - 1)** Discussion and possible action to concur in the action to the City Council to accept maintenance of public waterline improvements recently installed for the purpose of water service to the newly constructed Whataburger restaurant located at 12110 S. Waco, Southwest Crossroads Addition, Glenpool, Oklahoma.
(Lynn Burrow, Community Development Director)
- D) Adjournment**

This notice and agenda was posted at Glenpool City Hall, 12205 S. Yukon Ave., Glenpool, Oklahoma, on _____, _____ at _____ am/pm.

Signed: _____
Clerk

**NOTICE
GLENPOOL INDUSTRIAL AUTHORITY
MEETING
SPECIAL SESSION**

A special session of the Glenpool Industrial Authority will begin at 6:30 p.m. immediately following the Glenpool Utility Service Authority special session, Monday, October 17, 2016, at Glenpool City Hall, City Council Chambers, 12205 S. Yukon, 3rd Floor, Glenpool, Oklahoma.

The following items are scheduled for consideration by the Authority at that time:

AGENDA

A) Call to Order.

B) Roll call, declaration of quorum.

C) Scheduled Business.

- 1) Discussion and possible action to concur in the action of the City Council to adopt Resolution No. 16-10-02 for the purposes of creating a Tax Increment Financing District, appointing a Project Plan Review Committee and such other actions necessary and appropriate to implement the proposal described in said Resolution.
(Lowell Peterson, City Attorney)
- 2) Discussion and possible action to concur in the action of the City Council to approve retainer agreement engaging Hilborne & Weidman, PC, as bond counsel and Lowell Peterson as local counsel to provide legal services in support of creating the proposed Tax Increment Financing District and providing funds to promote investment, development and economic growth within the City of Glenpool, as authorized by Resolution No. 16-10-02, adopted this date, for a fee of \$30,000.00, such funds to be reimbursed to the City as an eligible project cost.
(Lowell Peterson, City Attorney/John Weidman, Hilborne & Weidman, PC)

D) Adjournment.

This notice and agenda was posted at Glenpool City Hall, 12205 S. Yukon Ave., Glenpool, Oklahoma, on _____, _____ at _____ am/pm.

Signed: _____
City Clerk