



**NOTICE
GLENPOOL UTILITY SERVICE AUTHORITY
REGULAR MEETING**

A Regular Session of the Glenpool Utility Service Authority will be held at 6:00 p.m. immediately following the Glenpool City Council Meeting on June 6, 2022 at Glenpool City Hall, City Council Chambers, 12205 S. Yukon Ave., 3rd Floor, Glenpool, Oklahoma.

NOTE: The Glenpool Utility Service Authority will be assembled for the meeting at the City Council Chambers, 12205 S. Yukon Ave, Glenpool, Oklahoma. Members of the public are invited to attend the in-person meeting, or join a live broadcast at this link:

Join Zoom Meeting

<https://us02web.zoom.us/j/89753555435?pwd=QzdFVjA1b0lKa1lSUFlKbUNrUUxtdz09>

Meeting ID: 897 5355 5435

Passcode: 974088

One tap mobile

+13462487799, US (Houston)

+14086380968, US (San Jose)

Dial by your location

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

Meeting ID: 897 5355 5435

Passcode: 974088

Find your local number: <https://us02web.zoom.us/j/89753555435?pwd=QzdFVjA1b0lKa1lSUFlKbUNrUUxtdz09>

The GUSA Board welcomes comments from citizens of Glenpool who wish to address any item on the agenda.

- Speakers attending in **PERSON** are required to complete the Request to Speak form located on the agenda table and return to the City Clerk **PRIOR TO THE CALL TO ORDER**.
- Speakers attending via **ZOOM** are required to complete the Request to Speak form located on our website: <https://glenpoolonline.civicweb.net/document/19057/Request%20to%20Speak%20Form.pdf> and email it to the City Clerk: Wknight@cityofglenpool.com **PRIOR TO 6:00 PM, JUNE 6, 2022.**

AGENDA

	Page
A) Call to Order - Joyce G. Calvert, Chair	
B) Roll Call, Declaration of Quorum – Wendy Knight, Secretary; Joyce G. Calvert, Chair	
C) Public Works Director Report - Rick Rumsey	
1) Monthly Report	3 - 4
D) Trustee Comments	
E) Public Comments	
F) Scheduled Business	
1) Discussion and possible action to approve, deny, or amend the minutes from May 2, 2022, and May 16, 2022 meetings.	5 - 7

(Wendy Knight, Secretary)

[GUSA - 02 May 2022 - Minutes - Html](#)

[GUSA - 16 May 2022 - Minutes - Html](#)

- | | | |
|----|---|---------|
| 2) | Discussion and possible action to accept a General Utility Easement Dedication from BCF Investments LLC, to support the installation of a public waterline used for fire protection purposes within the second phase of Cotton Creek Mini Storage located at 2155 W 181st Street.
(Gerald Gilbert, Development Services Director)
Final COTTON CREEK MINI STORAGE GENERAL UTILITY EASEMENT ACCEPTANCE - JUNE 6 2022 | 8 - 20 |
| 3) | Discussion and possible action to ratify, or refuse to ratify, action taken by the Glenpool City Council to adopt Resolution No. 2022002, as it pertains to the Fiscal Year 2022-2023 Annual Budget of the Glenpool Utility Services Authority.
(Frank Ordaz, Finance Director)
RESOLUTION NO. 2022002 | 21 - 22 |
| 4) | Discussion and possible action to approve or deny FY22-23 Property, General Liability and Workers Compensation insurance renewals from Oklahoma Municipal Assurance Group.
(Wendy Knight, City Clerk)
Staff report OMAG renewal
OMAG Renewal | 23 - 26 |

G) Adjournment

This notice and agenda was posted at Glenpool City Hall, 12205 S. Yukon Ave., Glenpool, Oklahoma, on June 3, 2022, by 4:00 pm.

Signed: Wendy Knight
Secretary



June 1, 2022

TO: Honorable Chairman and Trustees, Glenpool Utility Service Authority

FROM: Rick Rumsey, Interim Public Works Director

SUBJECT: May 2022 Public Works Monthly Report

The following report contains details of all work completed including still in-progress projects being done by the Public Works Department for the month of May 2022:

STREETS AND PARKS:

- * Pick up trash and empty trashcans daily at all City Parks
- * Ongoing mowing and weed eating parks and other areas
- * Ongoing cleaning of storm drains
- * Closed roadways twice due to flooding conditions
- * Put up stop sign at Poplar Pl. and 137th
- * Repaired large pothole at 139th and Casper
- * Removed fallen tree from detention area and repaired privacy fence at 1173 E. 132nd Pl.
- * Removed fallen tree from Black Gold Park
- * Repaired numerous potholes caused by recent rains
- * Cleaning and Maintenance of equipment

WASTEWATER TREATMENT AND LIFT STATION:

- Daily testing performed
- Daily readings taken
- Daily flow monitoring
- Daily meter calibrations performed
- Pulled Biological Oxygen Demand and Total Solids Samples each week to deliver to Green Country Testing
- Perform weekly test as requested by ODEQ
- Mowing and weed eating of plant site
- Weed eating lift station sites
- Began implementation of new chemicals into lagoon system
- Assisted company in conducting sludge testing of the lagoon
- Main line for blower system was repaired
- Glenpark lift station not working properly (repair made)



WATER AND SEWER:

- 358 locates
- 171 service orders completed for the Utility Office
- 113 turn offs for non-payment
- 10 leak repairs
- 6 new meter sets
- Performed monthly meter reads and replaced 25 bad registers
- 1 sewer main line repair (S. Elm. St.)
- Cleared one sewer back-up
- Exercised and repaired as needed main water line valves
- All required water testing performed
- Cleaning and maintenance of equipment



MINUTES
GUSA Meeting
Monday, May 2, 2022 Council Chambers 6:00 PM

TRUSTEES PRESENT: Joyce Calvert
Brandon Kearns
Tim Fox
Chris Brobst
Jacqueline Triplett-Lund

STAFF PRESENT: David Tillotson
Susan White
Wendy Knight
Frank Ordaz
Gerald Gilbert
Jim Martin

- A Call to Order - Joyce G. Calvert, Chair**
Chair Calvert called the meeting to order at 6:27 p.m.
- B Roll Call, Declaration of Quorum – Wendy Knight, Secretary; Joyce G. Calvert, Chair**
Wendy Knight called the roll, Chair Calvert declared a quorum present.
- C Public Works Director Report - Rick Rumsey**
[April 2022 Monthly Report](#)
- D Trustee Comments**
There were no Trustee comments.
- E Public Comments**
There were no public comments.
- F Scheduled Business**
1) Discussion and possible action to approve, deny, or amend the minutes from April 4, 2022 meeting.

(Wendy Knight, Secretary)

Moved by Jacqueline Triplett-Lund, seconded by Chris Brobst

To approve the minutes as presented.

	For	Against	Abstained	Absent
Joyce Calvert	x			
Brandon Kearns	x			
Tim Fox	x			
Chris Brobst	x			
Jacqueline Triplett-Lund	x			
	5	0	0	0

CARRIED.

[GUSA - 04 Apr 2022 - Minutes - Html](#)

G Adjournment

Chair Calvert declared the meeting adjourned at 6:31 p.m.



MINUTES
GUSA Special Meeting
Monday, May 16, 2022 Council Chambers 6:00 PM

TRUSTEES PRESENT: Joyce Calvert
Brandon Kearns
Tim Fox
Chris Brobst
Jacqueline Triplett-Lund

STAFF PRESENT: David Tillotson
Susan White
Frank Ordaz
Jim Martin

STAFF ABSENT: Wendy Knight

A) Call to Order - Joyce G. Calvert, Chair

Chair Calvert called the meeting to order at 7:18 p.m.

B) Roll Call, Declaration of Quorum – Wendy Knight, Secretary; Joyce G. Calvert, Chair

Susan White called the roll, Chair Calvert declared a quorum present.

C) Scheduled Business

- 1) Presentation and discussion of FY22-23 annual budget. No action will be taken.
(Frank Ordaz, Finance Director)

Mr. Tillotson stated the budget is the same as presented in the Council meeting. No action was taken.

[FY2023 Budget Assumptions City of Glenpool, OK](#)
[FY2023 Preliminary Budget](#)

D) Adjournment

Chair Calvert called the meeting adjourned at 7:19 p.m.

TO: HONORABLE CHAIR AND TRUSTEES

FROM: GERALD S. GILBERT, DEVELOPMENT SERVICES DIRECTOR

DATE: JUNE 6, 2022

REQUEST: ACCEPTANCE OF GENERAL UTILITY EASEMENT

APPLICANT: BCF INVESTMENTS, LLC

BACKGROUND

The item under consideration is an acceptance of a General Utility Easement being dedicated to the City of Glenpool by BCF Investments, LLC. The easement is intended to support the installation of a public waterline used for fire protection purposes within the second phase of Cotton Creek Mini Storage, which is currently under construction. Cotton Creek Mini-Storage is located at 2155 W 181st Street. The attached exhibits illustrate the location of the easement and waterline.

RECOMMENDATION

Staff recommends the GUSA Board approve the request and accept the easement as presented in the attached documents.

ATTACHMENTS:

1. Proposed General Utility Easement from BCF Investments LLC.

GENERAL UTILITY EASEMENT

STATE OF OKLAHOMA)
) SS
COUNTY OF TULSA)

BCF Investments, LLC, an Oklahoma Limited Liability Company, the undersigned (Grantor), as the owner of the legal and equitable title of the following described real estate (Property), for and in consideration of the sum of TEN DOLLARS (\$10.00), and other good and valuable considerations, the receipt of which is acknowledged, does hereby grant and convey to the City of Glenpool, a Municipal Corporation (GRANTEE), a general utility easement through, over, and across the following described Property:

See Exhibits "A.1" and "A.2" attached hereto and made a part of this easement grant by reference;

for the purpose of permitting Grantee and Franchise Utility services thereon, through, over, under, and across said property, together with all necessary and convenient appurtenances thereto; to use and maintain the same; and affording Grantee and Franchise Utility service provider officers, agents, employees, and/or all persons under contract with either, the right of access at all times to and upon said premises and strip of land for the purposes of surveying, excavating for, constructing, building, operating, repairing, and maintaining all such utility services and associated appurtenances.

The Grantee and Franchise Utility service providers are hereby given and granted the non-exclusive possession of said above described premises for the purposes aforesaid and Grantor, for itself and its heirs, administrators, successors, and assigns, covenants and agrees, which covenant and agreement shall be binding on the Grantor, its heirs, administrators, successors and assigns, and shall be enforceable by the City of Glenpool, Oklahoma and by Franchise Utility service providers that:

- 1) Within the general utility easement, no building, structure, or other above or below ground obstruction that interferes with stated uses and purposes of the general utility easement shall be placed, erected, installed, or maintained, provided nothing herein shall be deemed to prohibit drives, parking areas, curbing, landscaping, retaining walls, signs, and customary screening fences, provided such improvements do not constitute an obstruction, as determined by the City of Glenpool, and are permitted by the City of Glenpool;
- 2) Grantee shall not be responsible for damage to permitted improvements placed within the general utility easement by the Grantor or third party resulting from repair, maintenance, or the installation of Grantee facilities;
- 3) Grantee has the right to recover the costs of any repairs necessary, due to the actions of the Grantor or other persons in privity with it, to the facilities the Grantee has installed within the general utility easement;
- 4) Changes in finished grade in excess of twelve (12) inches shall be prohibited;

- 5) In the event these terms are violated by the Grantor or other persons in privity with it, such violation will promptly be corrected and eliminated upon receipt of notice from the Grantee or Franchise Utility supplier, or the Grantee or Franchise Utility supplier shall have right to remove or otherwise eliminate such violation, and Grantor, its heirs, administrators, successors and assigns, shall promptly pay the actual cost thereof.

TO HAVE AND TO HOLD such easement unto to the City of Glenpool (Grantee), its successors or assigns as aforesaid:

Signed and delivered this 14th day of April, 2022.



BCF Investments, LLC (Grantor)
By: Shayne Buchanan, Manager of LLC

STATE OF OKLAHOMA)
) SS CORPORATE ACKNOWLEDGEMENT
COUNTY OF TULSA)

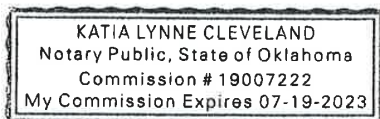
Before me, the undersigned, a Notary Public in and for said County and State, this 14th day of April, 2022, personally appeared Shayne Buchanan, to me known to be the identical person who executed the foregoing instrument, as Manager of BCF Investments, LLC, an Oklahoma Limited Liability Company, and acknowledged to me that he executed the same as his free and voluntary act and deed, and as the free and voluntary act and deed of such company for the uses and purposes therein set forth.

IN WITNESS WHEREOF, I hereunto set my official signature and affixed my notarial seal the day and year last above written.

My Commission Expires: 7-19-23



Notary Public



ACCEPTED BY:

CITY of GLENPOOL
A Municipal Corporation

Dated this: _____, day of _____, 2022

By: _____
Mayor: Joyce Calvert

ATTEST:

Wendy Knight
City Clerk

APPROVED AS TO FORM:

City Attorney

Exhibit "A.1"

Lot 4, Block 1 - Cotton Creek Mini-Storage

Utility Easement Description

Description

A TRACT OF LAND THAT IS A PART OF LOT FOUR (4), BLOCK ONE (1), "COTTON CREEK MINI-STORAGE", A SUBDIVISION IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 6582), SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT THREE (3) OF SAID BLOCK 1; THENCE NORTH 88°52'15" EAST AND PERPENDICULAR TO THE WEST LINE OF SAID LOT 4, FOR A DISTANCE OF 40.00 FEET; THENCE NORTH 1°07'45" WEST AND PARALLEL WITH SAID WEST LINE, FOR A DISTANCE OF 75.33 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING NORTH 1°07'45" WEST AND ALONG THE WEST LINE, FOR A DISTANCE OF 15.00 FEET; THENCE NORTH 88°52'15" EAST AND PERPENDICULAR TO THE WEST LINE, FOR A DISTANCE OF 110.00 FEET; THENCE SOUTH 1°07'45" EAST AND PARALLEL WITH THE WEST LINE, FOR A DISTANCE OF 15.00 FEET; THENCE SOUTH 88°52'15" WEST AND PERPENDICULAR TO THE WEST LINE, FOR A DISTANCE OF 110.00 FEET TO THE POINT OF BEGINNING;

SAID TRACT CONTAINING 1,650 SQUARE FEET OR 0.038 ACRES.

Basis of Bearing

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83).

Certification

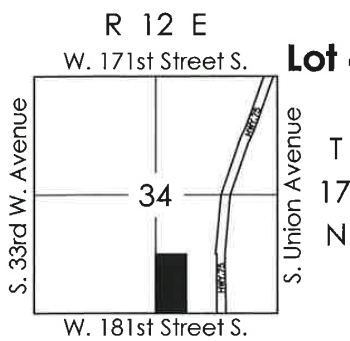
I, DAN E. TANNER, OF TANNER CONSULTING, LLC, CERTIFY THAT THE ATTACHED DESCRIPTION CLOSES IN ACCORD WITH EXISTING RECORDS, IS A TRUE REPRESENTATION OF THE EASEMENT AS DESCRIBED, AND MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING OF THE STATE OF OKLAHOMA.



DAN E. TANNER, P.L.S.
OKLAHOMA P.L.S. #1435
OKLAHOMA CA #2661
EXPIRATION DATE: 6/30/23

04/12/2022 TBUSH 13112EX_UE

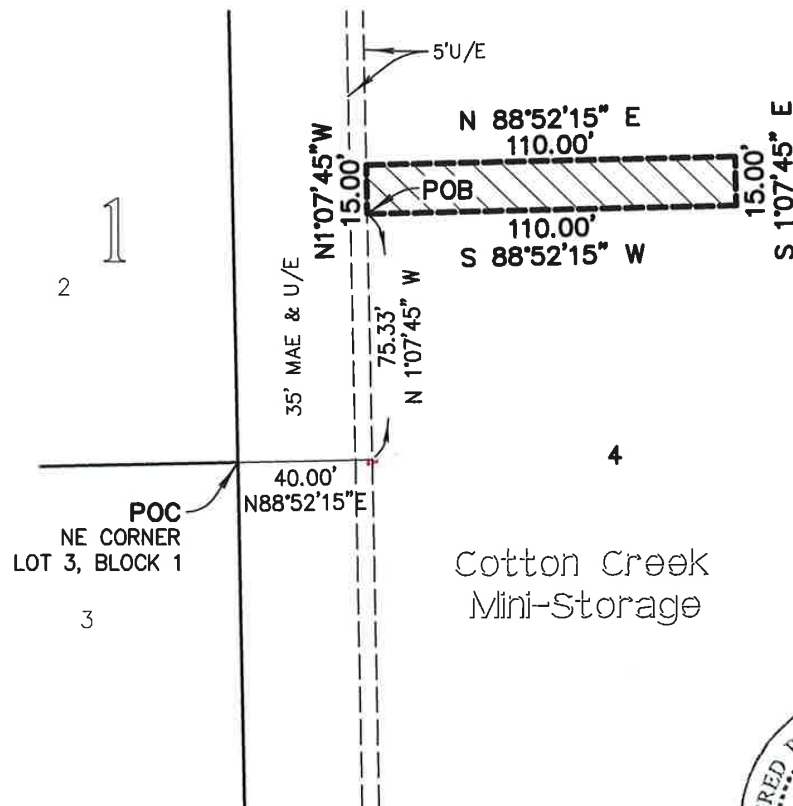
 **Tanner Consulting LLC**
5323 SOUTH LEWIS AVENUE, TULSA OKLAHOMA 74105-6539 | 918.745.9929



Location Map

Exhibit "A.2"

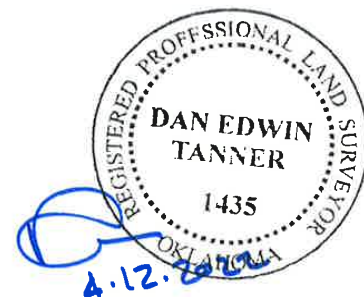
Lot 4, Block 1 - Cotton Creek Mini-Storage Utility Easement Exhibit



LEGEND

MAE	MUTUAL ACCESS EASEMENT
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
U/E	UTILITY EASEMENT

04/12/2022 TBUSH 13112EX_UE



Tanner Consulting LLC
5323 SOUTH LEWIS AVENUE, TULSA OKLAHOMA 74105-6539 | 918.745.9929

Traverse Closure

Crandall's Method

Project: **13112 - Utility Easement**

Leg#	Bearing	Quadrant	Distance	Northing	Easting	New Length	Adjusted Northing	Adjusted Easting
Starting Coordinates:				5,000.0000	5,000.0000		5,000.0000 0000	5,000.0000 0000
1	1. 07 45	NW	15.00	5,014.9971	4,999.7044	15.000	5,014.9970 8715	4,999.7044 0399
2	88. 52 15	NE	110.00	5,017.1648	5,109.6830	110.000	5,017.1647 9120	5,109.6830 4310
3	1. 07 45	SE	15.00	5,002.1677	5,109.9786	15.000	5,002.1677 0405	5,109.9786 3910
End	88. 52 15	SW	110.00	5,000.0000	5,000.0000	110.000	5,000.0000 0000	5,000.0000 0000
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
				0.0000	0.0000			
4	Ending Coordinates:			5,000.0000	5,000.0000			

Total Traverse Length:		250.00				
Closure:	0. 00 00	NE	0.000	Closure Area:	1,650.000 SF	
		Perfect	Closure Precision		0.038 Acres	

The information shown on this sheet is confidential and intended for the use of Tanner Consulting personnel only. This sheet may not be edited, duplicated or filed of record in any form without the express written permission of Tanner Consulting.

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION THIRTY-FOUR (34)
TOWNSHIP EIGHTEEN (17) NORTH, RANGE TWELVE (12) EAST, OF THE INDIAN MERIDIAN
A SUBDIVISION IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION THIRTY-FOUR (34)
TOWNSHIP EIGHTEEN (17) NORTH, RANGE TWELVE (12) EAST, OF THE INDIAN MERIDIAN
A SUBDIVISION IN THE CITY OF GLENPOOL, TULSA COUNTY, STATE OF OKLAHOMA

BLDG	BUILDING	PVC	POLYVINYL CHLORIDE PIPE
BLM	BENCHMARK	R	RADIUS
B/L	BUILDING LINE	R/C	REINFORCED CONCRETE PIPE
CHBS	CHISELED BOX, SET	R/W	RESTRICTED WATERLINE ESMT
CL	CENTERLINE	R/W	RIGHT-OF-WAY
CO	SEWER CLEAN-OUT	SD	STORM DRAIN
CONC	CONCRETE	SDES	STORM DRAIN END SECTION
COR	CORNER	SDHW	STORM DRAIN HEADWALL
ED	ELECTRIC PEDESTAL	SDMH	STORM DRAIN MANHOLE
ESMT	EASEMENT	SF	SQUARE FEET
FL	FIRE HYDRANT	SS	SANITARY SEWER
FLH	FLOWLINE	SSMH	SANITARY SEWER MANHOLE
FLT	FLOWLINE, THROAT	SV	SQUARE YARDS
FNC	FENCE	TC	TOP OF CURB
FD	FOUND	TG	TOP OF GRATE
G	GUTTER	TP	TOP OF PAVING
GUY	GUY ANCHOR	TPED	TELEPHONE PEDESTAL
HP	HORIZONTAL ELLIPTICAL PIPE	TR	TOP OF RIM
IF	IRON PIN	WL	WATERLINE
IP	IRON PIN, FOUND	WM	WATER METER
IS	IRON PIN, SET	WMH	WATER MANHOLE
MAE	MUTUAL ACCESS	WW	WATER VALVE
OE	OVERHEAD ELECTRIC	UG	UNDERGROUND GAS LINE
PFE	PIN FLAG, ELECTRIC	UE	UNDERGROUND ELECTRIC
PFT	PIN FLAG, TELEPHONE	UT	UNDERGROUND TELEPHONE
PP	POWER POLE	U/E	UTILITY EASEMENT
PPD	POWER POLE WITH DIP	XFM	TRANSFORMER

**IRON PIN WITH RED CAP SET ON WEST
EDGE OF CHURCH PARKING LOT. APPROX
320' W AND 312' N OF SE PROPERTY
CORNER.**

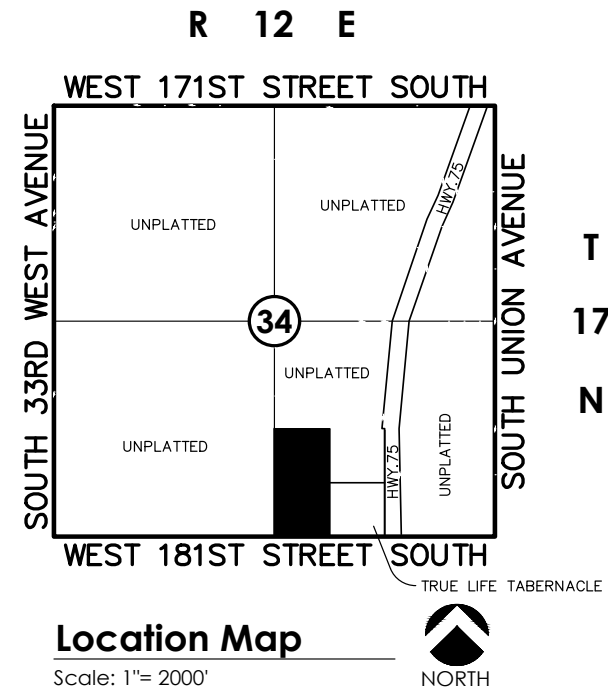
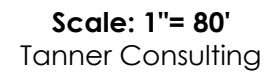
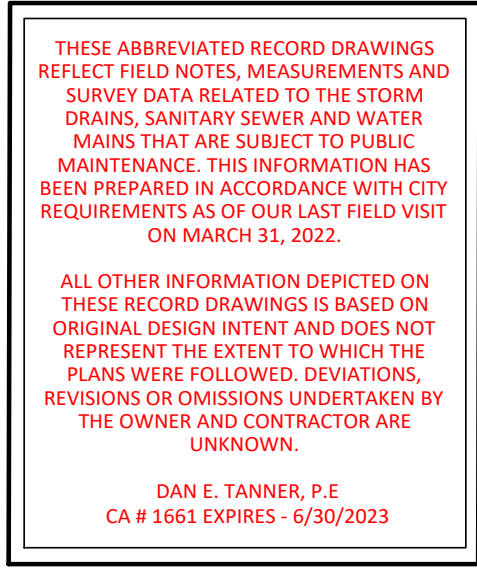
TOTAL LOT AREA	(20.038 ACRES)	872,854 SF
EXISTING IMPERVIOUS AREA	(0%)	0 SF
PROPOSED IMPERVIOUS AREA	(38.4%)	335,442 SF
INCREASE IN IMPERVIOUS AREA	(38.4%)	335,442 SF

TANNER CONSULTING, LLC	OKLAHOMA NATURAL GAS
JESSICA SHELTON	SCOTT GIDEON - NEW SERVICE
5323 SOUTH LEWIS AVE	5848 EAST 15TH STREET
TULSA, OK 74105	TULSA, OK 74112
PHONE: (918) 745-9929	PHONE: (918) 831-8386

CITY OF GLENPOOL	AT&T
LYNN BURROW	AL NICHOLS
12205 S. YUKON AVENUE	5305 E. 71ST STREET
GLENPOOL, OK 74033	TULSA, OK 74136
PHONE: (918) 209-4613	PHONE: (918) 596-4237

EAST CENTRAL ELECTRIC CO-OP
BILL DANGOTT
PO BOX 1178
OKMULGEE, OK 74447
PHONE: (918) 756-0873

- 1.1. TOPOGRAPHIC INFORMATION SHOWN HEREIN WAS PROVIDED BY INDIAN NATIONS COUNCIL OF GOVERNMENTS.
- 1.2. ALL GRADES ARE BASED ON NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
- 1.3. WHEREVER THE WORD "CITY" APPEARS HEREIN THE SAME SHALL CONCLUSIVELY BE DEEMED TO MEAN THE CITY OF GLENPOOL, OKLAHOMA UNLESS THE CONTEXT CLEARLY DICTATES OTHERWISE.
- 1.4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISION OF BONDS AND INSURANCE AS REQUIRED.
- 1.5. THE CONTRACTOR SHALL NOTIFY THE CITY OF GLENPOOL PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- 1.6. ONE-TIME CONSTRUCTION STAKING SHALL BE PROVIDED BY THE OWNER. ANY RESTAKING WILL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- 1.7. RIGHT-OF-WAY PERMIT IS REQUIRED FOR ALL WORK IN CITY OF GLENPOOL RIGHT-OF-WAY. PLEASE CALL 918-322-5409 FOR PERMIT INFORMATION.



Location Map
Scale: 1" = 2000'

OWNER:
BCF Investments, LLC
CONTACT: SHAYNE BUCHANAN
EMAIL: GLENPOOLGHOST@GMAIL.COM
19155 Carriage Court
Mounds, Oklahoma 74047
Phone: (918) 633-0048

A TRACT OF LAND IN THE SOUTHEAST QUARTER (SE/4) OF SECTION THIRTY-FOUR (34), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID SE/4; THENCE NORTH 1°07'45" WEST ALONG THE WEST LINE OF THE SE/4, FOR A DISTANCE OF 1320.67 FEET TO A POINT, SAID POINT BEING THE NORTHWEST CORNER OF THE W/2 SW/4 SE/4; THENCE NORTH 88°49'58" EAST ALONG THE NORTH LINE OF THE W/2 SW/4 SE/4, FOR A DISTANCE OF 660.81 FEET TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF THE W/2 SW/4 SE/4; THENCE SOUTH 1°08'39" EAST ALONG THE EAST LINE OF THE W/2 SW/4 SE/4, FOR A DISTANCE OF 1320.40 FEET TO A POINT, SAID POINT BEING THE SOUTHEAST CORNER OF THE W/2 SW/4 SE/4; THENCE SOUTH 88°48'37" WEST ALONG THE SOUTH LINE OF THE SE/4, FOR A DISTANCE OF 661.16 FEET TO THE POINT OF BEGINNING.

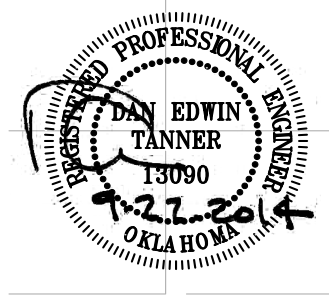
SAID TRACT CONTAINING 872,854 SQUARE FEET, BEING 20.038 ACRES, MORE OR LESS.

SHEET NUMBER - NAME	
COVER SHEET	C01
DIMENSIONED SITE PLAN	C02
GRADING & EROSION CONTROL SHEET	C03
WATERLINE PLAN	C04
WATERLINE PROFILES	C05
STORM SEWER PLAN & PROFILE	C06

THE FOLLOWING STANDARD DRAWINGS FROM THE CITY OF TULSA PUBLIC WORKS DEPARTMENT AND ODOT WILL BE REQUIRED:

126 STD STRAW BALE DIKE, SILT FENCE, & CONSTRUCTION ENTRANCE
304 BEDDING DETAIL - RIGID PIPE
305 BEDDING DETAIL - SEMI RIGID PIPE
309 FIRE HYDRANT
313 VALVE BOX
315 THRUST BLOCKS AND TRENCH CONDITIONS
706 COMMERCIAL DRIVEWAY
726 ASPHALT PAVEMENT STANDARD DETAILS
751 PIPE BEDDING DETAIL FOR STORM SEWER

BY MY SIGNATURE ON THESE CONSTRUCTION DOCUMENTS, I HEREBY CERTIFY THAT I AM FAMILIAR WITH THE ADOPTED ORDINANCES AND REGULATIONS OF THE CITY OF GLENPOOL GOVERNING DRAINAGE, DETENTION AND EARTH CHANGE; THAT THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION; THE ABOVE AND FOREGOING DRAINAGE PLANS COMPLY WITH ALL GOVERNING ORDINANCES AND THE ADOPTED STANDARDS OF THE CITY OF TULSA PERTAINING TO DRAINAGE, DETENTION AND EARTH CHANGE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



CIVIL ENGINEERING | LAND SURVEYING
LANDSCAPE ARCHITECTURE | PLANNING

5323 SOUTH LEWIS AVENUE
TULSA, OKLAHOMA 74105
PHONE (918)745-9929
FAX (918)745-9969
www.tannerbaitshop.com

CERTIFICATE OF AUTHORIZATION NO.
CA 2661 EXP. 6/30/2023



THESE PLANS AND DRAWINGS ARE NOT
BE REPRODUCED, CHANGED OR COPIED
ANY FORM OR MANNER WHATSOEVER WITH-
OUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISS-
ION AND CONSENT OF TANNER CONSULTING, INC.
THEY ARE THEY TO BE ASSIGNED TO ANY TH-
IR PARTY WITHOUT OBTAINING SAID WRITTEN PERMISS-
ION AND CONSENT. ANY CHANGES MADE FROM THE
PLANS WITHOUT CONSENT OF TANNER CONSULTING
ARE UNAUTHORIZED, AND SHALL RELIEVE TANNER
CONSULTING OF RESPONSIBILITY FOR ALL CON-
SEQUENCES ARISING OUT OF SUCH CHANGE

MILESTONE	DATE
1ST SUBMITTAL	08/06/1
BID SET PHASE 1	08/20/1
2ND SUBMITTAL	09/22/1

PLOT DATE: 4/13/22	

ALL CONSTRUCTION TO BE IN STRICT
ACCORDANCE WITH CURRENT CITY OF
TULSA STANDARDS AND SPECIFICATIONS
(INCLUDING O.D.O.T. 2009 EDITION)

Cotton Creek Mini-Storage
West of the NW/c W. 181st Street S. & Union Avenue
Glenpool, Oklahoma

PROJECT: 13112
ISSUE DATE: 4/13/22

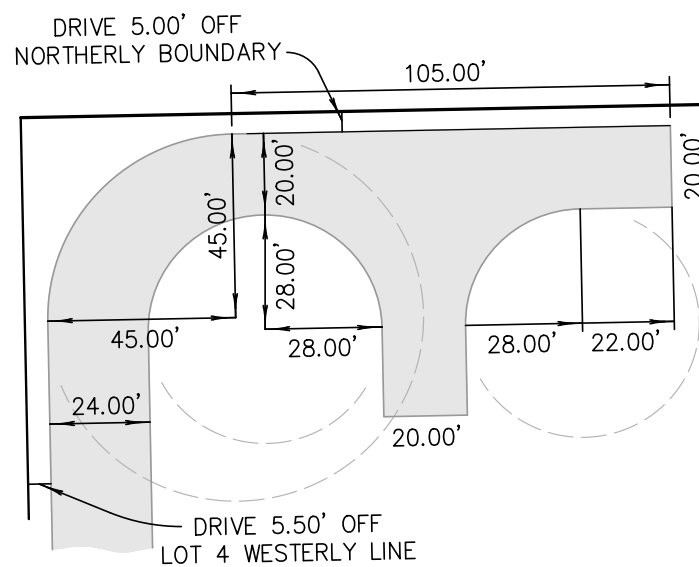
PLAN SCALE: (H) 1"=80'
(V) N/A

C01

OF 06

ALL OTHER INFORMATION DEPICTED ON THESE RECORD DRAWINGS IS BASED ON ORIGINAL DESIGN INTENT AND DOES NOT REPRESENT THE EXTENT TO WHICH THE PLANS WERE FOLLOWED. DEVIATIONS, REVISIONS OR OMISSIONS UNDERTAKEN BY THE OWNER AND CONTRACTOR ARE UNKNOWN.

4.7.2022



* REFER TO 2009 INTERNATIONAL FIRE CODE SECTION D103 FOR DETAILED REQUIREMENTS REGARDING FIRE ACCESS DIMENSIONS AND TOLERANCES

Scale: NTS

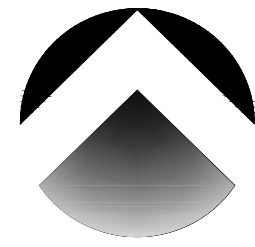
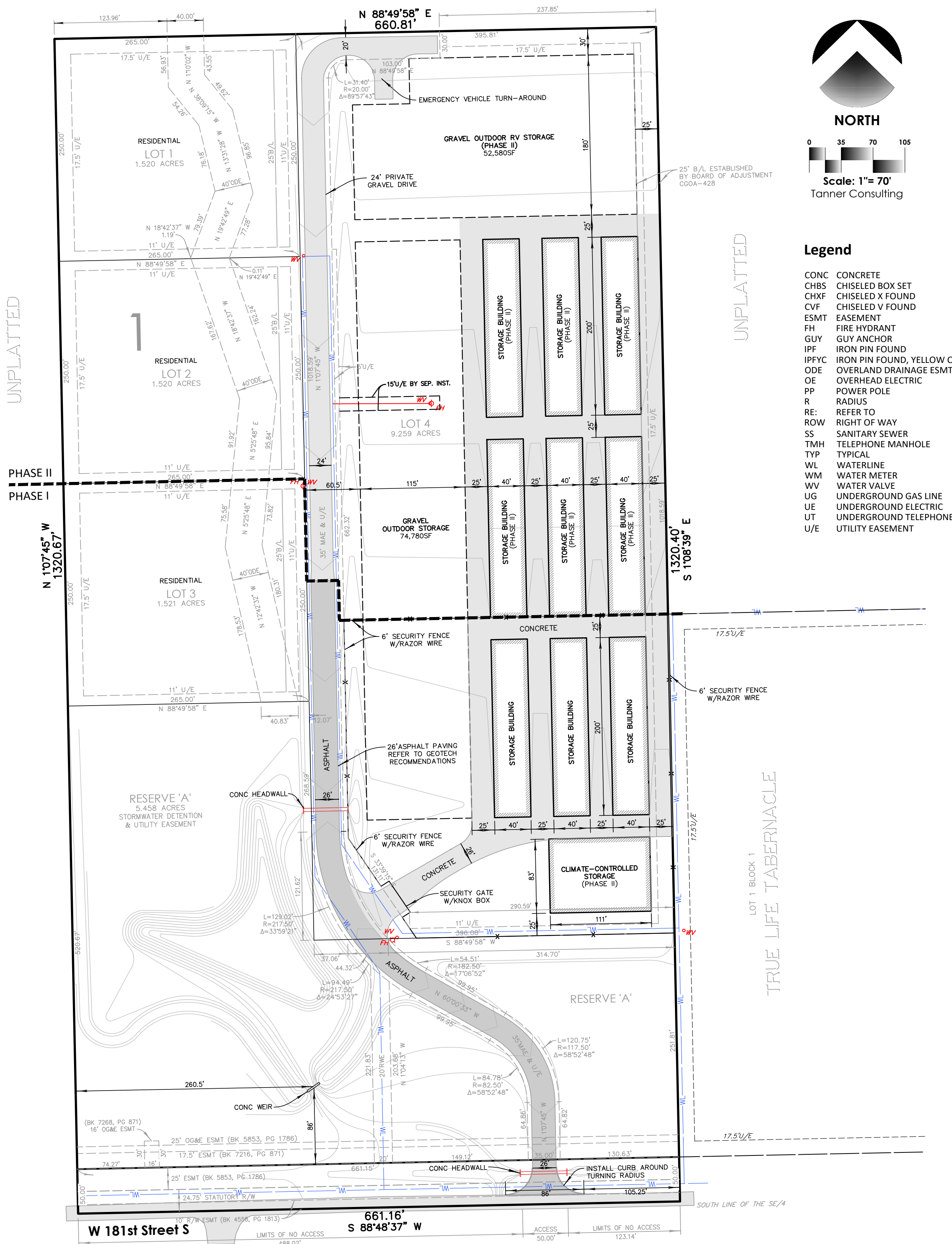


**IRON PIN WITH RED CAP SET ON WEST
EDGE OF CHURCH PARKING LOT. APPROX
320' W AND 312' N OF SE PROPERTY
CORNER.**

(334262.9190N, 2555639.1640E)

ELEVATION = 702.237 (NAVD 88)

- 2.1 ALL DIMENSIONS SHOWN HEREON ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS SHOWN OTHERWISE ON PLANS.
- 2.2 THE CONTRACTOR SHALL MAINTAIN A TWO FOOT (2') SEPARATION BETWEEN THE GAS LINE CONDUIT AND ALL OTHER CONDUITS.
- 2.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL CONDUITS PRIOR TO PAVING WHETHER OR NOT SHOWN ON CIVIL PLANS.
- 2.4 BUILDINGS SHOWN HEREON ARE REPRESENTATIVE ONLY AND NOT FOR CONSTRUCTION. REFER TO ARCHITECTURAL PLANS FOR COMPLETE BUILDING DIMENSIONS, DETAILS AND SPECIFICATIONS.
- 2.5 CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICES WITH UTILITY SUPPLIER. LAYOUT MAY BE MODIFIED AS NEEDED.
- 2.6 COORDINATE ALL BUILDING CONNECTIONS AND LINE/METER SIZING WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
- 2.7 UTILITY SERVICE CONNECTIONS SHALL BE INSTALLED AS PER APPLICABLE CITY CODES AND SPECIFICATIONS.
- 2.8 ELECTRICAL CONDUIT SHALL BE 4" PVC SCH40 (GRAY), TELEPHONE CONDUIT SHALL BE 4" PVC SCH40 (WHITE) AND CABLE TELEVISION CONDUIT SHALL BE 4" SDR 35 PVC (WHITE). ALL ARE TO BE INSTALLED WITH A PULL STRING.



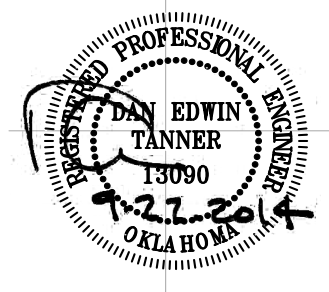
NORTH

0 35 70 1

Scale: 1"= 70'

Tanner Consulting

CONC	CONCRETE
CHBS	CHISELED BOX SET
CHXF	CHISELED X FOUND
CVF	CHISELED V FOUND
ESMT	EASEMENT
FL	FIRE HYDRANT
GUY	GUY ANCHOR
IPF	IRON PIN FOUND
IPFYC	IRON PIN FOUND, YELLOW CAP
ODE	OVERLAND DRAINAGE ESMT
OE	OVERHEAD ELECTRIC
PP	POWER POLE
R	RADIUS
RE:	REFER TO
ROW	RIGHT OF WAY
SS	SANITARY SEWER
TMH	TELEPHONE MANHOLE
TYP	TYPICAL
WL	WATERLINE
WM	WATER METER
WV	WATER VALVE
UG	UNDERGROUND GAS LINE
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
U/E	UTILITY EASEMENT



CIVIL ENGINEERING | LAND SURVEYING
LANDSCAPE ARCHITECTURE | PLANNING

5323 SOUTH LEWIS AVENUE
TULSA, OKLAHOMA 74105
PHONE (918)745-9929
FAX (918)745-9969

CERTIFICATE OF AUTHORIZATION NO
CA 2661 EXP. 6/30/2023



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MILESTONE	DATE
1ST SUBMITTAL	08/06/19
BID SET PHASE 1	08/20/19
2ND SUBMITTAL	09/22/19

PLOT DATE: 4/13/22

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TULSA STANDARDS AND SPECIFICATIONS
(INCLUDING O.D.O.T. 2009 EDITION)

Cotton Creek Mini-Storage

West of the NW/c W. 181st Street S. & Union Avenue
Glenpool, Oklahoma

PROJECT: 13112
ISSUE DATE: 4/13/22

PLAN SCALE: (H) 1"=70'
(V) N/A

Dimensioned Site Plan

C02

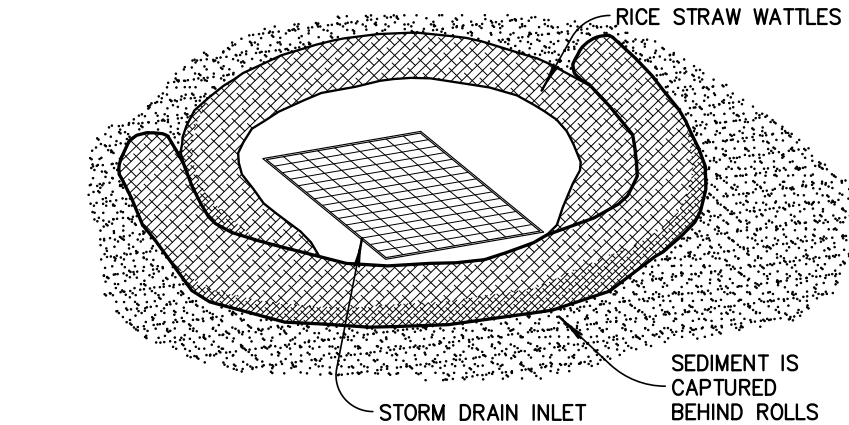
OF 06

Erosion Control Notes

- 3.1 ALL EROSION CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- 3.2 ALL EROSION CONTROL CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS, IN ACCORDANCE WITH CITY POLICY.
- 3.3 EROSION CONTROL SHALL START WITH INITIAL CONSTRUCTION AND BE PRACTICED THROUGHOUT THE PROJECT.
- 3.4 SILT FENCES SHALL BE CONSTRUCTED ADJACENT TO ALL DRAINAGE-WAYS, AND IN ALL AREAS THAT WILL ERODE INTO THE STORM SEWER SYSTEM.
- 3.5 WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR 14 DAYS, THE DISTURBED AREAS SHALL BE STABILIZED WITH SEED AND MULCH.
- 3.6 THE CONTRACTOR SHALL RE-SEED ALL AREAS DISTURBED DURING CONSTRUCTION AND CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDED AREAS UNTIL GROWTH IS ESTABLISHED TO A UNIFORM HEIGHT OF TWO (2) INCHES.
- 3.7 THERE ARE NO OFFSITE MATERIAL, WASTE, BORROW, OR EQUIPMENT STORAGE AREAS.
- 3.8 THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE UPDATED AS NECESSARY TO REMAIN CONSISTENT WITH ANY CHANGES APPLICABLE TO PROTECT SURFACE WATER RESOURCES IN SEDIMENT EROSION SITE PLANS OR SITE PLANS OR SITE PERMITS, OR STORM WATER MANAGEMENT SITE PLANS OR SITE PERMITS APPROVED BY STATE OR LOCAL OFFICIALS FOR WHICH THE PERMITEE RECEIVES WRITTEN NOTICE.

Grading Notes

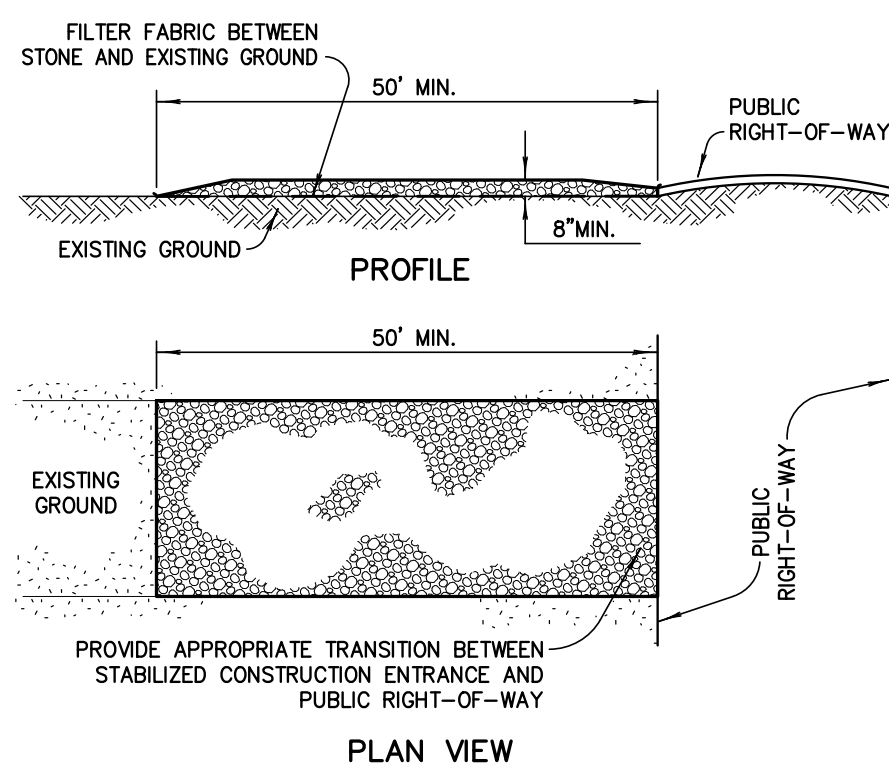
- 3.9 ALL GRADING SHALL MEET OR EXCEED THE CITY OF GLENPOOL CONSTRUCTION STANDARDS AND MUNICIPAL POLICY.
- 3.10 THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- 3.11 TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- 3.12 SUBGRADE STABILIZATION SHALL BE AT THE DIRECTION OF THE ENGINEER, OR AS SPECIFIED IN SUBSURFACE GEOTECHNICAL REPORT.
- 3.13 CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- 3.14 UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- 3.15 CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- 3.16 STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION AND COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE SUBSURFACE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED THEREIN.
- 3.17 THE CONTRACTOR IS ULTIMATELY RESPONSIBLE TO IMPORT OR EXPORT MATERIAL AS NECESSARY TO ACHIEVE THE GRADES SHOWN ON THE CIVIL ENGINEER'S DOCUMENTS.
- 3.18 THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL IN-PLACE FINAL TRIM AREAS TO CONDITION PRIOR TO PLACING TOPSOIL. TOPSOIL SHALL BE PLACED AND ACCEPTED PRIOR TO THE PLACEMENT OF SOD.
- 3.19 GENERAL CONTRACTOR SHALL MONITOR INSTALLATION OF SERVICE PEDESTALS, SHALL ACCEPT THE CONDITION OF THE WORK BY OTHERS, AND SHALL BE RESPONSIBLE TO EMPLOY CONTRACTORS AS NECESSARY TO CORRECT POOR WORKMANSHIP.
- 3.20 PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- 3.21 CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.



1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. FIBER ROLLS SHOULD BE INSPECTED AFTER EVERY SIGNIFICANT STORM EVENT TO CLEAR AND DISPOSE OF SEDIMENT AND DEBRIS.

A Inlet Control Filter

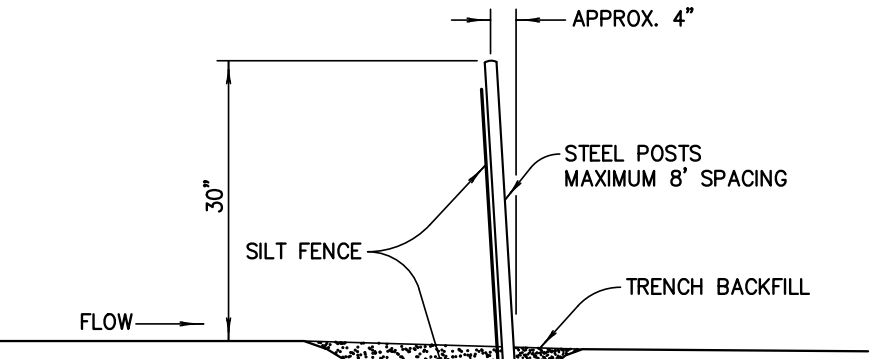
Scale: NONE



1. STONE SIZE AASHTO DESIGNATION M43, SIZE NO.2 (2-1/2" to 1-1/2"). USE CRUSHED STONE.
2. LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN EIGHT(8) INCHES.
4. WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
6. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE OWNER.

B Construction Entrance Detail

Scale: NONE

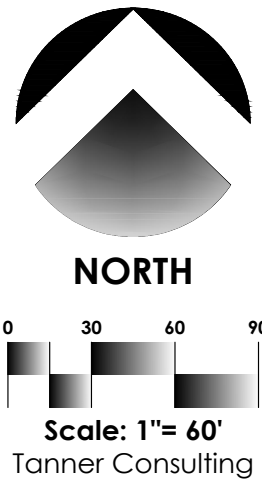
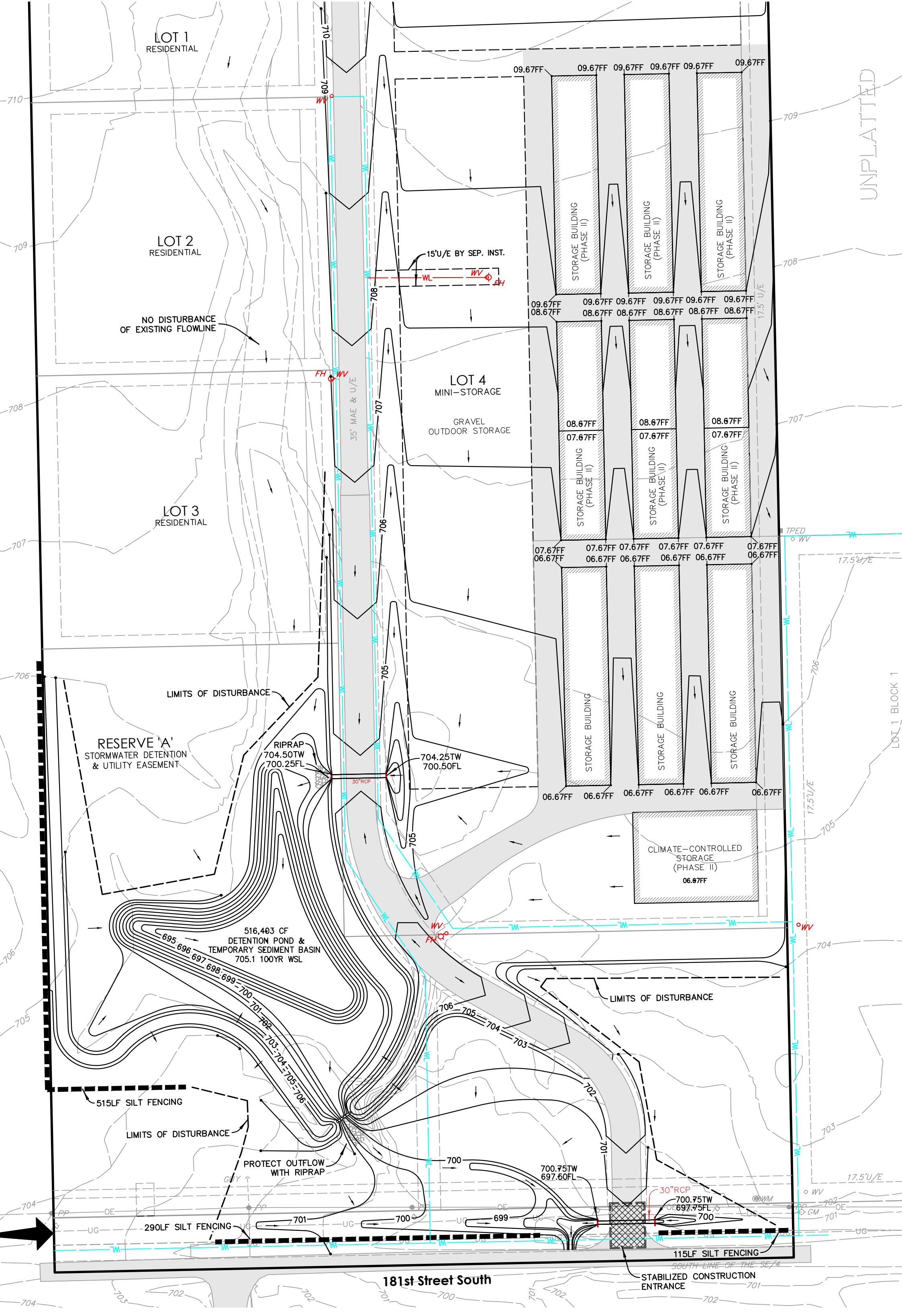


1. POSTS SHALL BE ANGLED SLIGHTLY TOWARD RUNOFF SOURCE.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN AND BACKFILLED.
3. THE TRENCH SHOULD BE 6" DEEP BY 3' TO 4' WIDE TO ALLOW SILT FENCE TO BE LAID IN AND BACKFILLED.
4. SILT FENCE SHALL BE FASTENED TO POSTS OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE POSTS.
5. INSPECTION SHALL BE FREQUENT & REPAIR OR REPLACEMENT PROMPT.
6. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO IMPEDE STORMWATER FLOW.
7. TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED MANNER AND LOCATION WHICH WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
8. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" TO 9" AND DISPOSED OF AS IN NOTE 7 ABOVE.

C Silt Fence Detail

Scale: NONE

Warning !!!
APPROXIMATE LOCATION AND/OR DEPTH OF EXISTING UNDERGROUND & OVERHEAD UTILITIES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543



Benchmark 1 $\blacklozenge$
IRON PIN WITH RED CAP SET ON WEST EDGE OF CHURCH PARKING LOT, APPROX 320' W AND 312' N OF SE PROPERTY CORNER.
(334262.9190N, 2555639.1640E)
ELEVATION = 702.237 (NAVD 88)

THESE ABBREVIATED RECORD DRAWINGS REFLECT FIELD NOTES, MEASUREMENTS AND SURVEY DATA RELATED TO THE STORM DRAINS, SANITARY SEWER AND WATER MAINS THAT ARE SUBJECT TO PUBLIC MAINTENANCE. THIS INFORMATION HAS BEEN PREPARED IN ACCORDANCE WITH CITY REQUIREMENTS AS OF OUR LAST FIELD VISIT ON MARCH 31, 2022.

ALL OTHER INFORMATION DEPICTED ON THESE RECORD DRAWINGS IS BASED ON ORIGINAL DESIGN INTENT AND DOES NOT REPRESENT THE EXTENT TO WHICH THE PLANS WERE FOLLOWED. DEVIATIONS, REVISIONS OR OMISSIONS UNDERTAKEN BY THE OWNER AND CONTRACTOR ARE UNKNOWN.

DAN E. TANNER, P.E.
CA # 1661 EXPIRES - 6/30/2023

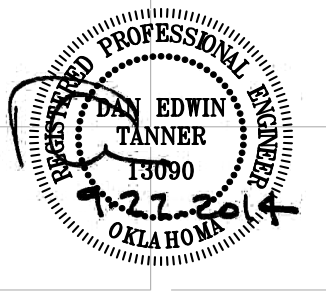
4.7.2022

Legend

- BW BASE OF WALL FINISH GRADE
CTRN CURB TRANSITION
EP EDGE OF PAVING
EX EXISTING GROUND
FF FINISH FLOOR
FG FINISH GRADE
FL FLOWLINE
GU GUTTER
TC TOP OF CURB
TG TOP OF GRATE
TP TOP OF PAVING
TR TOP OF RIM
TS TOP OF SIDEWALK OR STEP
TW TOP OF WALL FINISH GRADE

Erosion Control Legend

- INLET PROTECTION (SEE DETAIL)
SILT FENCE
STABILIZED CONSTRUCTION ENTRANCE



Tanner Consulting LLC
CIVIL ENGINEERING | LAND SURVEYING
LANDSCAPE ARCHITECTURE | PLANNING
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TULSA, OKLAHOMA 74105
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www.tannerbrillshop.com
CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2023



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1ST SUBMITTAL	08/06/14
BID SET PHASE 1	08/20/14
2ND SUBMITTAL	09/22/14

PLOT DATE: 4/13/22

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARDS AND SPECIFICATIONS (INCLUDING D.I.D.T. 2009 EDITION).

Cotton Creek Mini-Storage
West of the NW/c w. 181st Street S. & Union Avenue
Glenpool, Oklahoma

PROJECT: 13112
ISSUE DATE: 4/13/22

PLAN SCALE: (H) 1"=60'
(V) N/A

Grading & Erosion Control

C03

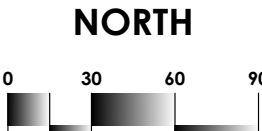
OF 06

- 8.1 ALL WATER DISTRIBUTION SYSTEMS SHALL BE DESIGNED IN ACCORDANCE WITH THE CURRENT CITY OF GLENPOOL LAND SUBDIVISION CODE AND ALL CONSTRUCTION INSTALLATION SHALL MEET OR EXCEED THE CITY OF GLENPOOL CONSTRUCTION STANDARDS AND MUNICIPAL POLICY.
- 8.2 THE PROJECT RESPONSIBLE CONTRACTOR AND ANY OTHER SUB-CONTRACTORS UNDER SEPARATE CONTRACT, IS/ARE REQUIRED TO HAVE A PRE-CONSTRUCTION MEETING WITH CITY STAFF. SUCH A MEETING IS REQUIRED BEFORE ANY INFRASTRUCTURE CONSTRUCTION IS PERFORMED. SHOULD THE RESPONSIBLE CONTRACTOR(S) REPRESENTATIVE FAIL TO PARTICIPATE WITHIN A MUTUALLY SCHEDULED PRE-CONSTRUCTION MEETING, ALL CONSTRUCTION ACTIVITIES SHALL BE IMMEDIATELY TERMINATED INDEFINITELY BY THE CITY. SUCH MEETINGS WILL ALSO BE MANDATORY, UPON CITY'S REQUEST, DURING THE CONSTRUCTION PROCESS, IF NECESSARY.
- 8.3 ALL WATER DISTRIBUTION SYSTEM CONSTRUCTION SHALL BE INSPECTED BY THE CITY UTILITY INSPECTORS.
- 8.4 DIG THROUGH LOCATOR TAPE WILL BE BURIED 2 FEET ABOVE THE LINE.
- 8.5 WHEN C-900 PVC IS USED, A NO. 8 BARE COPPER WIRE SHALL BE TAPED TO THE TOP SURFACE OF THE PIPE AND CONNECTED TO EACH FIRE HYDRANT BY ATTACHING TO A BOLT, JUST ABOVE GROUND LEVEL.
- 8.6 ALL IRON PIPE AND FITTINGS SHALL BE POLYWRAPPED.
- 8.7 ALL DISTRIBUTION LINES IN CONDUIT AND AT DRAINAGE FEATURE CROSSINGS SHALL BE CONSTRUCTED WITH RESTRAINED JOINTS.
- 8.8 ALL MAIN LINES SHALL HAVE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF EIGHT (8) FEET OF COVER, UNLESS OTHERWISE SHOWN HEREIN.
- 8.9 DISTRIBUTION LINES SMALLER THAN FOUR (4) INCHES SHALL NOT BE INSTALLED.
- 8.10 FIRE HYDRANTS:
 - A. FIRE HYDRANTS SHALL BE A MINIMUM 5 1/4 INCH NOZZLE TYPE AND OF THE KENNEDY, MUELLER, OR AMERICAN DARLING BRAND NAME.
 - B. EACH HYDRANT SHALL BE SET WITH THE STREAMER NOZZLE FACING THE STREET AND WITH A MINIMUM CLEARANCE OF EIGHTEEN (18) INCHES ABOVE THE FINISHED GRADE.
 - C. ALL EXPOSED PORTIONS OF FIRE HYDRANTS SHALL BE PAINTED WITH A SAFETY YELLOW ENAMEL AS MANUFACTURED BY GLIDDEN OR DUPONT.
- 8.15 ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC WORKS DIRECTOR.
- 8.16 ALL FITTING BENDS, TEES AND FIRE HYDRANTS SHALL HAVE MECHANICAL JOINT RESTRAINTS, WITH MIDCO GRIP RINGS.
- 8.17 NO CONSTRUCTION ACTIVITIES ON THE WATER SYSTEM ARE PERMITTED UNTIL THE CITY ENGINEER'S OFFICE HAS RECEIVED A COPY OF THE ODEQ 'PERMIT TO CONSTRUCT' AND AUTHORIZATION TO PROCEED WITH THE WATER SYSTEM HAS BEEN PROVIDED BY THE CITY ENGINEER.

HYDRANT	STATIC PSI	RESIDUAL PSI	AVAILABLE GPM
NE/C OF CHURCH	44	10	530 GPM
SE/C OF CHURCH	60	24	913 GPM

DAN E. TANNER, P.E
CA # 1661 EXPIRES - 6/30/2023

UNIVERSITY OF ALABAMA



Scale: 1"= 60'
Tanner Consulting

**IRON PIN WITH RED CAP SET ON WEST
EDGE OF CHURCH PARKING LOT. APPROX
320' W AND 312' N OF SE PROPERTY
CORNER.**

(334262.9190N, 2555639.1640E)

ELEVATION = 702.237 (NAVD 88)

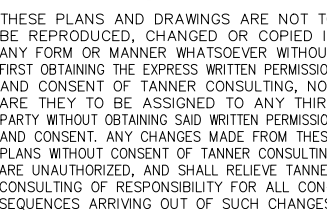


Tanner
Consulting
LLC

CIVIL ENGINEERING, LAND SURVEYING & ENVIRONMENTAL CONSULTING

5323 SOUTH LEWIS AVENUE
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PHONE (918)745-9929
FAX (918)745-9969

CERTIFICATE OF AUTHORIZATION NO
CA 2661 EXP. 6/30/2023



PLOT DATE: 4/13/22	

ALL CONSTRUCTION TO BE IN STRICT
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TULSA STANDARDS AND SPECIFICATIONS
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Cotton Creek Mini-Storage
West of the NW/c W. 181st Street S. & Union Avenue
Glenpool, Oklahoma

PROJECT: 13112
ISSUE DATE: 4/13/22

PLAN SCALE: (H) 1"=60'
(V) N/A

C04

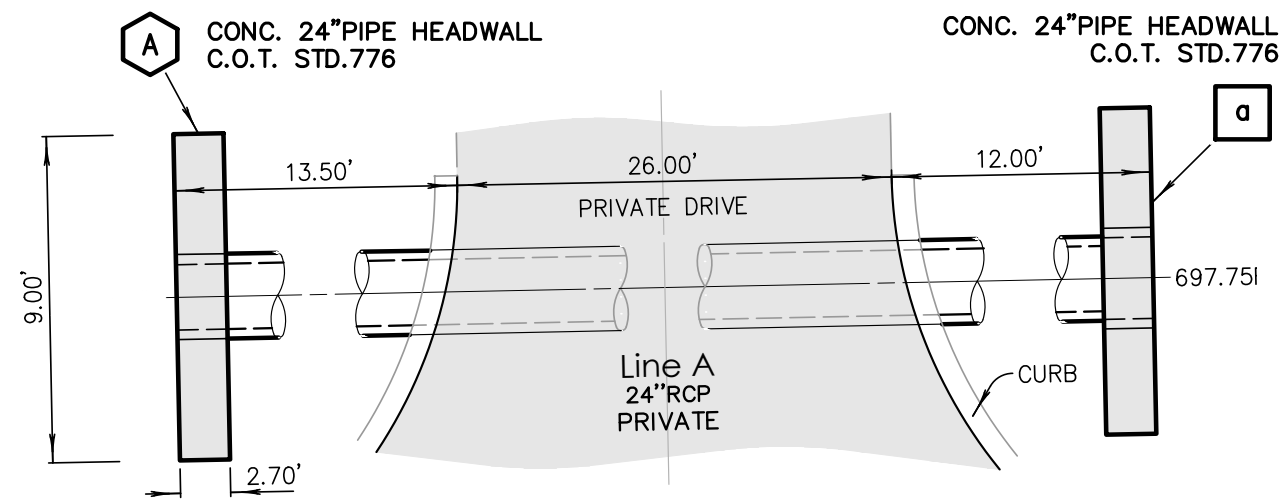
OF 06

Alignment
SCALE: 1"=20'

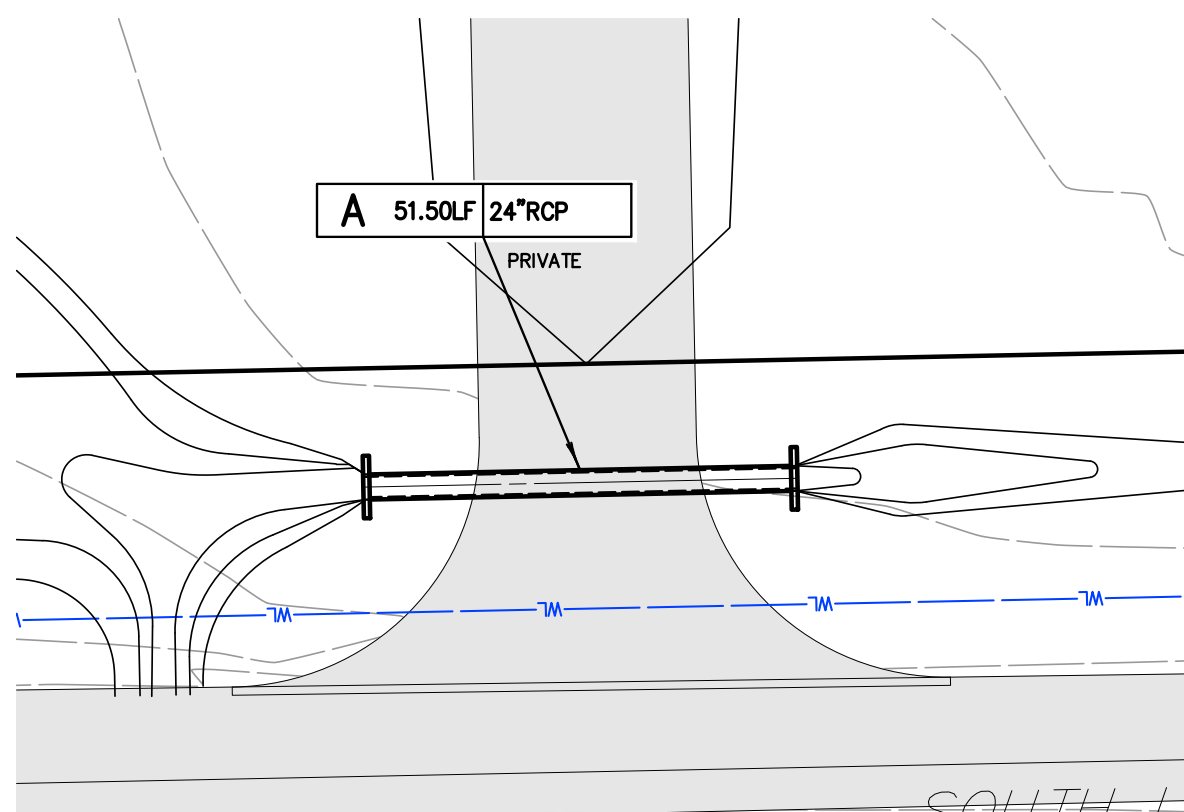
A Detention Pond Weir

AREA BASIN	D.A. (S-F)	D.A. (ACRES)	C	REACH (FT)	SURFACE	SLOPE (%)	VELOCITY (FPS)	TIME (MIN.)	I100 (IN./HR)	Q100 (CFS)
A	386.90	8.88	0.66	1,483	GRASS/CHANNEL	0.82%	1.56	18.79	10.8	63.31
B	52.054	1.195	0.66	717	GRASS/CHANNEL	0.52%	0.55	14.37	10.8	7.23
C	284.708	6.536	0.61	1,068	GRASS/CHANNEL	0.66%	1.40	17.59	10.8	43.06
D	176.070	4.042	0.88	1,193	GRASS/CHANNEL	0.90%	1.61	17.35	10.8	38.42
E	136.778	3.108	0.59	1,123	GRASS/CHANNEL	0.67%	1.39	17.23	10.8	20.01
F	66.037	1.514	0.3	624	WATERWAY	0.50%	1.16	9.00	10.8	14.74
G	159.168	3.656	0.3	427	GRASS	1.64%	0.91	7.85	10.8	11.84

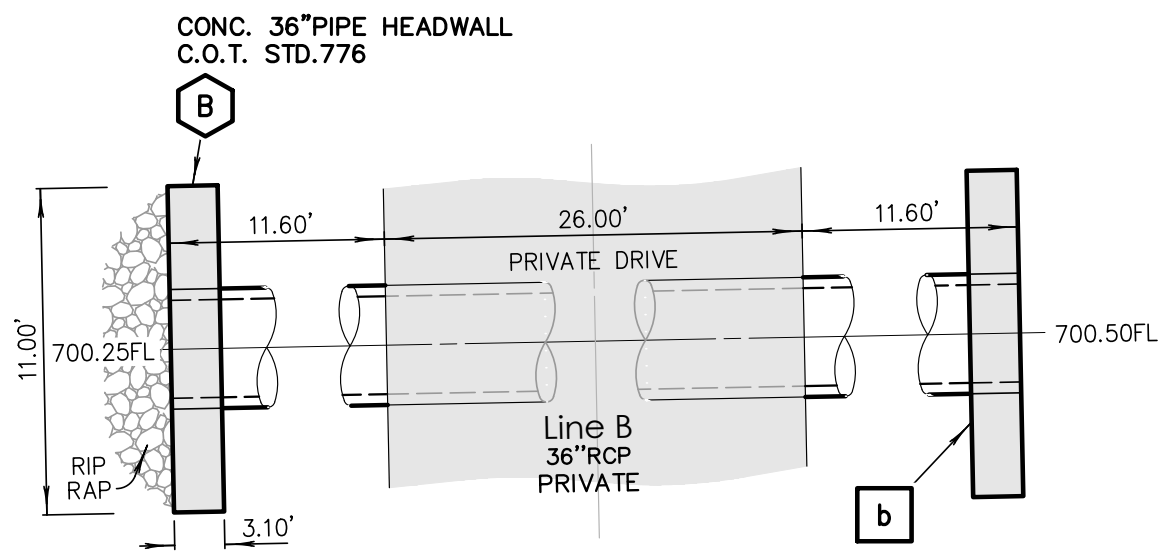
PIPE RUN	DA	SIZE (IN.)	SLOPE (%)	CAPACITY QFUFU(CFS)	VELOCITY VFUFU (FPS)	FLOW Q100 (CFS)	VELOCITY V100 (FPS)	VELOCITY HALF (FPS)
Line A (Ditch)	G	24"RCP	0.48%	15.67	4.99	11.84	0.91	5.92
Line B (Drive)	C	36"RCP	0.50%	47.17	6.67	43.06	1.40	21.53



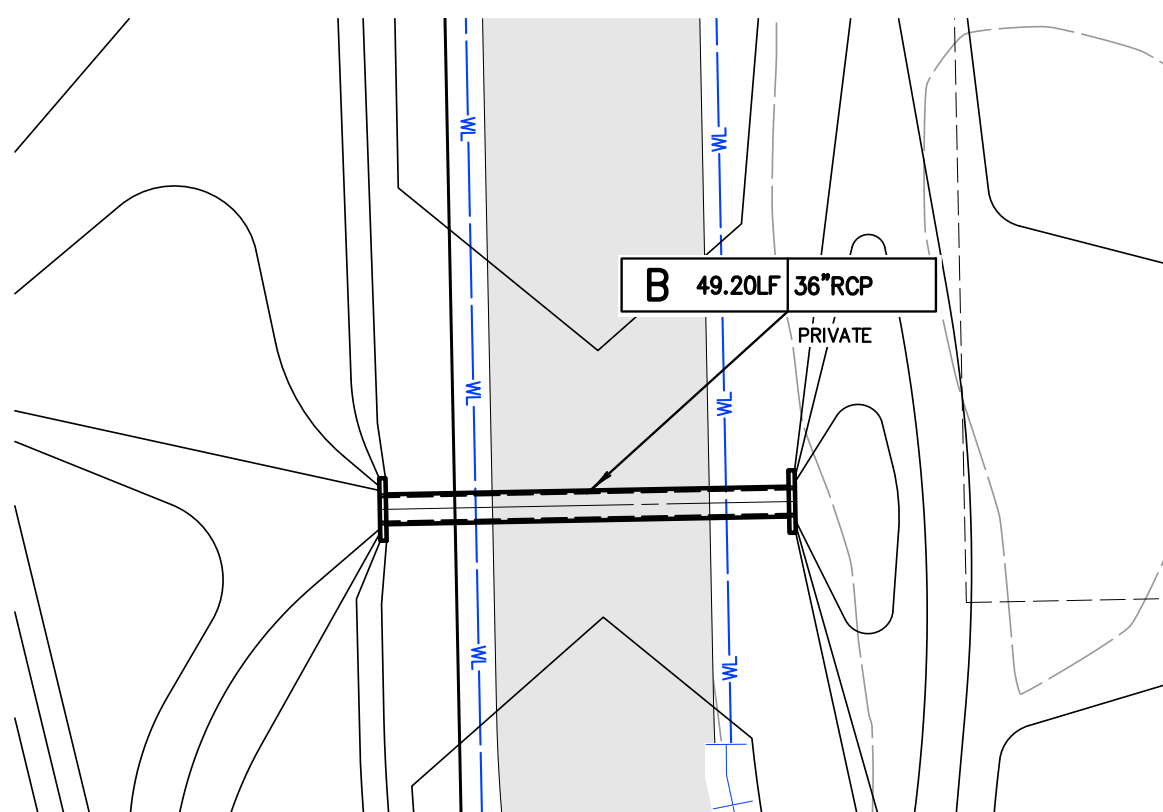
Alignment Details



Alignment

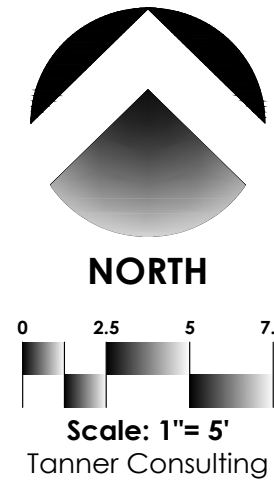
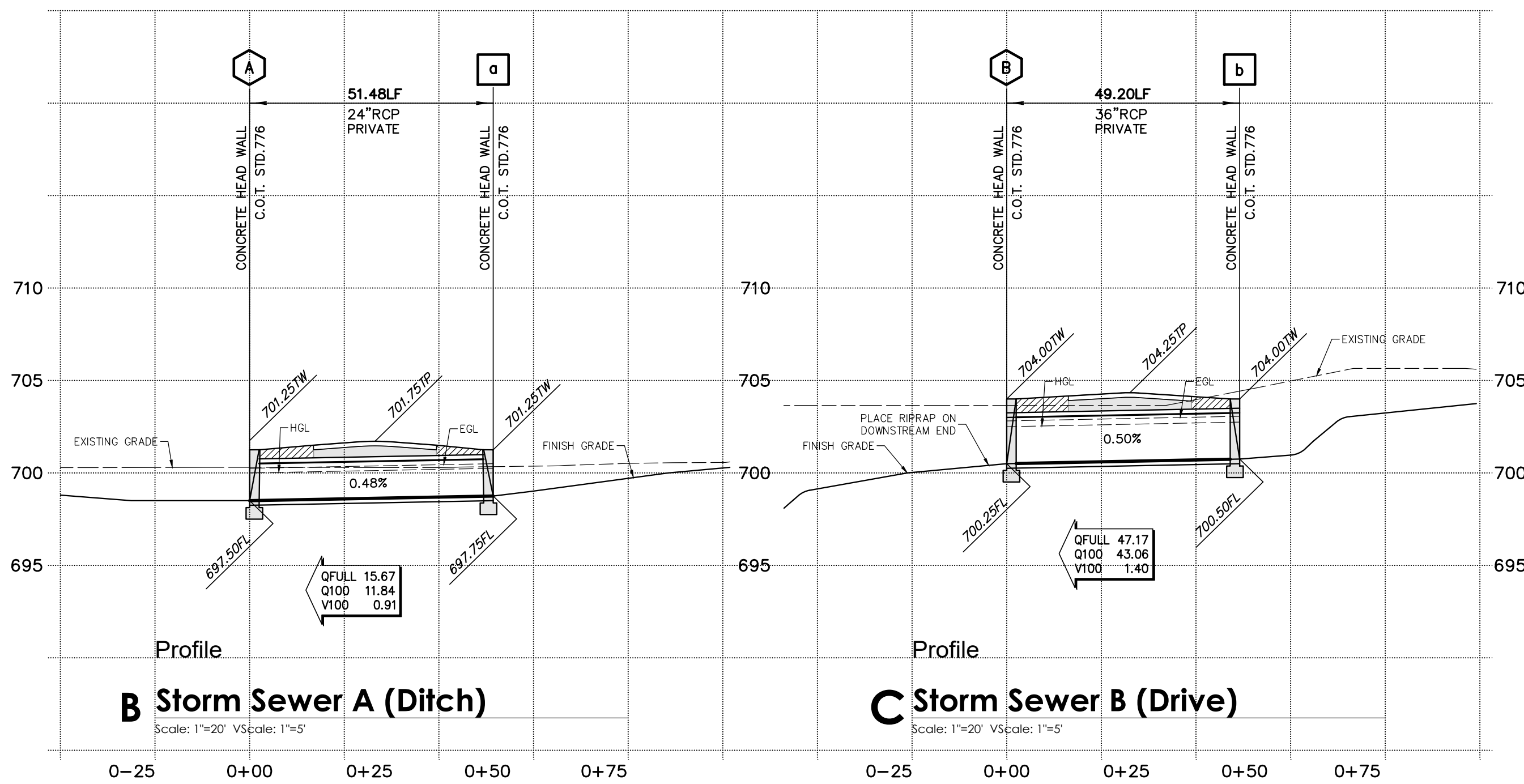


Alignment Details



Alignment

SCALE: 1"=20'



Benchmark 1

**IRON PIN WITH RED CAP SET ON WEST
EDGE OF CHURCH PARKING LOT. APPROX
320' W AND 312' N OF SE PROPERTY
CORNER.**

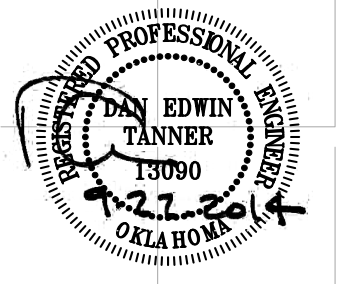
ELEVATION = 702.237 (NAVD 88)

Storm Sewer Notes

1. CONTRACTOR IS RESPONSIBLE TO UNCOVER ANY UTILITY CONNECTION POINTS BEFORE CONSTRUCTING NEW UTILITIES.
2. ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
3. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL PARTICIPATE IN A PRE-CONSTRUCTION CONFERENCE WITH THE PUBLIC WORKS DEPARTMENT. AT THIS CONFERENCE THE CONTRACTOR SHALL FURNISH CERTIFICATION FROM THE MANUFACTURER/SUPPLIER THAT ALL MATERIALS MEET APPLICABLE SPECIFICATIONS. CERTIFICATIONS SHALL BE SUPPLIED IN FIVE (5) COPIES WITH THREE (3) COPIES STAMPED AND APPROVED, BY THE CITY, RETURNED TO THE CONTRACTOR. MATERIALS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE CITY.
4. ALL STORM SEWER AND DRAINAGE CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT FIELD INSPECTION, IN ACCORDANCE WITH CITY POLICY.
5. THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
6. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
7. MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
8. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE REQUIRED ON ALL REINFORCED CONCRETE PIPE.
9. ADS N-12, OR EQUIVALENT, CORRUGATED, SMOOTH INTERIOR PLASTIC PIPE MAY BE USED OUTSIDE OF PAVED AREAS.
10. STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
11. ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF THE TRENCH. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
12. STORM SEWER LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BEDDING AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
13. PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
14. PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
15. ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
16. THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
17. VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.
18. ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC WORKS DIRECTOR.
19. ALL PRECAST 5'x3' AREA INLETS SHALL HAVE HEAVY-DUTY WELDED STEEL GRATE, NON-SERRATED, GALVANIZED, WITH 4-1/2"x5/16" BARS AT 15" P.C.
20. CONTRACTOR AND ALL RELATED CONSTRUCTION ACTIVITIES ARE REQUIRED TO MAINTAIN NORMAL NOISE LEVELS AND ALL EQUIPMENT AND VEHICLES ARE REQUIRED TO BE PROPERLY MUFFLED.

 DENOTES AREAS TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY PRIOR TO UTILITY CONSTRUCTION.

UTILITY LINES LOCATED UNDER PAVED STREETS SHALL BE LAID IN TYPE A AGGREGATE BASE AND THE TRENCH COMPLETELY FILLED TO SUBGRADE WITH TYPE A AGGREGATE BASE COMPACTED TO 95% STANDARD DENSITY, OR FLOWABLE FILL, AS SHOWN ON PROFILES.



Tanner Consulting LLC
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LANDSCAPE ARCHITECTURE | PLANNING
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FAX (918)745-9969
www.tannerbaitshop.com
CERTIFICATE OF AUTHORIZATION NO.
CA 2661 EXP. 6/30/2023



THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF TANNER CONSULTING, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT. ANY CHANGES MADE FROM THESE PLANS WITHOUT CONSENT OF TANNER CONSULTING ARE UNAUTHORIZED, AND SHALL RELIEVE TANNER CONSULTING OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

MILESTONE	DATE
1ST SUBMITTAL	08/06/14
BID SET PHASE 1	08/20/14
2ND SUBMITTAL	09/22/14
PLOT DATE: 4/13/22	

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARDS AND SPECIFICATIONS (INCLUDING O.D.O.T. 2009 EDITION).

Cotton Creek Mini-Storage
West of the NW/c W. 181st Street S. & Union Avenue
Glenpool, Oklahoma

PROJECT: 13112
ISSUE DATE: 4/13/22

PLAN SCALE: (H) 1"=20'
(V) 1"=5'

Storm Sewer Plan & Profile

C06

OF 06

RESOLUTION 2022002

A RESOLUTION OF THE GOVERNING BODY OF THE CITY OF GLENPOOL TO COMPLY WITH AND OPERATE IN ACCORDANCE WITH THE MUNICIPAL BUDGET ACT AND APPROVE THE FISCAL YEAR 2022-2023 ANNUAL BUDGET.

WHEREAS, the Oklahoma State Statutes, Title 11, Section 201 authorizes a municipality to prepare and approve an annual budget, and

WHEREAS, the Glenpool City Council has met all requirements for publications and public input on the Fiscal Year 2022-2023 budget, and

WHEREAS, the Council members of the City of Glenpool have reviewed the proposed budget and are aware of the operations and projects planned for Fiscal Year 2022-2023;

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Glenpool:

- A. That the budget for Fiscal Year 2022-2023 be approved for the funds and amounts as listed in Exhibit A.
- B. That the Finance Director, with the approval of the City Manager, may make transfers between departments and accounts within a fund. Additional appropriations must be approved by the Council prior to implementation.
- C. That the Finance Director shall be given blanket authority and directed to invest and reinvest available funds on a continuing basis during the fiscal year ending June 30, 2023.

PASSED AND APPROVED this 6th day of June, 2022.

Name: Joyce G. Calvert
Title: Mayor

Attest:

Name: Wendy Knight
Title: City Clerk

EXHIBIT A
CITY OF GLENPOOL
FY 2022-2023 PROPOSED BUDGET

Fund	FY2023 Revenues	FY2023 Expenses
General Fund	\$ 14,310,230	\$ 14,310,230
Glenpool Industrial Authority Fund	1,041,060	1,041,060
Glenpool Utility Services Authority Fund	10,034,390	10,034,390
Streets & Infrastructure Fund	875,100	875,100
ARPA Grant Fund	1,216,998	1,216,998
Public Safety Personnel Fund	1,611,250	1,611,250
Hotel-Motel Tax Fund	253,660	253,660
Public Safety Capital Fund	771,000	771,000
Parks & Recreation Fund	19,140	19,140
Capital Improvement Fund	\$ 121,277	\$ 121,277



Date: June 6, 2022

To: Honorable Mayor and Council/ Chair and Trustees

From: Wendy Knight, City Clerk

Re: Renewal of Property, General Liability, and Workers Compensation Insurance for FY 22-23

Background:

The current policies for Property, General Liability, and Workers Compensation insurance expires at midnight on June 30, 2022. Oklahoma Municipal Assurance Group (OMAG) is asking renewal for the following:

Plan	FY22-23 Renewal	FY21-22 Premium	% Change	Comments
Municipal Property Protection	\$103,170.	\$96,786.	7%	*Standard rate increase
Municipal Liability Protection	\$92,262.	\$75,498.	22%	*Standard rate increase + expenditures from State Auditor website, updated every 2-4 years
Worker's Compensation	\$248,924.	\$247,374.	< 1%	*Standard rate increase

* Standard rate increase due to loss trends and general market conditions

Staff Recommendation:

Staff recommends renewal of all OMAG insurance policies for FY2022-2023

12205 S. Yukon, Glenpool, OK 74033 OFFICE: 918-322-5409 FAX: 918-209-4641

Mayor Joyce Calvert, Ward 3; Vice-Mayor Brandon Kearns, At-Large;

Tim Fox, Ward 1; Chris Brobst, Ward 2; Jacqueline Lund, Ward 4

City Manager David Tillotson, Assistant City Manager Susan White, City Clerk Wendy Knight

www.glenpoolonline.com



3650 S. Boulevard • Edmond, OK 73013 • omag.org
405.657.1400 • 800.234.9461 • FAX 405.657.1401

Date of Invoice: 5/17/2022

INVOICE

Mail To: City of Glenpool 12205 S. Yukon Ave. Glenpool, Oklahoma 74033	Insured: City of Glenpool Policy No.: PRO140044406 Policy Type: Property Effective Date: 7/1/2022 Expiration Date: 7/1/2023
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Inst. No.	Date	Transaction Type	Amount	Running Total
1	7/1/2022	Renewal	\$25,792.50	\$25,792.50
Total Policy Balance Before Payment: \$103,170.00			Current Amount Due	\$25,792.50
			Payment Due By	7/1/2022

**Thank you for your business. If you have questions about your account,
please call 1-800-234-9461 or 405-657-1400.**

If not paid within 45 days of due date, policy will be cancelled.

If you are interested in being able to make this payment via ACH, please contact Matt Jacobson at (405) 657-1429.

Detach along the perforation above. Keep top portion for your records. Return bottom portion with your remittance.

Policy No.: PRO140044406 Insured: City of Glenpool	Amount Due: \$25,792.50 Payment Due By: 7/1/2022
---	---

PLEASE REMIT PAYMENT TO:

OMAG
P.O. Box 3091
Edmond, OK 73083



3650 S. Boulevard • Edmond, OK 73013 • omag.org
405.657.1400 • 800.234.9461 • FAX 405.657.1401

Date of Invoice: 5/17/2022

INVOICE

Mail To: City of Glenpool 12205 S. Yukon Ave. Glenpool, Oklahoma 74033	Insured: City of Glenpool Policy No.: GLA140047306 Policy Type: General Liability/Auto Effective Date: 7/1/2022 Expiration Date: 7/1/2023
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Inst. No.	Date	Transaction Type	Amount	Running Total
1	7/1/2022	Renewal	\$23,065.50	\$23,065.50
Total Policy Balance Before Payment: \$92,262.00			Current Amount Due	\$23,065.50
			Payment Due By	7/1/2022

**Thank you for your business. If you have questions about your account,
please call 1-800-234-9461 or 405-657-1400.**

If not paid within 45 days of due date, policy will be cancelled.

If you are interested in being able to make this payment via ACH, please contact Matt Jacobson at (405) 657-1429.

Detach along the perforation above. Keep top portion for your records. Return bottom portion with your remittance.

Policy No.: GLA140047306	Amount Due: \$23,065.50
Insured: City of Glenpool	Payment Due By: 7/1/2022

PLEASE REMIT PAYMENT TO:

OMAG
P.O. Box 3091
Edmond, OK 73083



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405.657.1400 • 800.234.9461 • FAX 405.657.1401

Invoice No. 7568

Date of Invoice: 6/1/2022

INVOICE-Workers' Compensation Standard Plan

Mail To: Glenpool 12205 S. Yukon Ave. Glenpool, OK 74033	Insured: City of Glenpool Policy No.: WCV140012406 Effective Date: 7/1/2022 Expiration Date: 7/1/2023
---	--

Inst. No.	Date	Transaction Type	Amount
1	7/1/2022	Renewal	\$62,231.00

Standard Plan Premium: 224,458.00 OMAG Admin. Fee: 24,466.00 Total Premium: 248,924.00 Total Policy Balance Before Payment: \$248,924.00	Current Amount Due: \$62,231.00 Payment Due By: 7/1/2022
--	---

Thank you for your business. If you have questions about your account, please call 1-800-234-9461 or 405-657-1400.

Detach along the perforation below. Keep top portion for your records.

Return bottom portion with your remittance.

Policy Number: WCV140012406 Insured Name: City of Glenpool Invoice Number: 7568	Amount Due: \$62,231.00 Payment Due By: 7/1/2022
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PLEASE REMIT PAYMENT TO:

OMAG

P. O. Box 3091

Edmond, OK 73083